



# CITY OF LACKAWANNA OFFICE OF CODE ENFORCEMENT

714 Ridge Road – Room 311  
Lackawanna, NY 14218  
Tel: (716) 827-6474 Fax: (716) 827-1866



Date 2/26/25

Agenda Checklist  
Zoning Board of Appeals  
Planning and Development Board

Property address 2470 HAMBURG TURNPIKE

Reason in front of the board SPECIAL USE PERMIT APPROVALS

Special use permit needed for Zoning?  Yes / No Planning?  Yes / No

Agenda Applicant JACOB HICKS

Agenda item CANNABIS DISPENSARY

Zone REGIONAL COMMERCIAL

Use variance needed?  Yes / No

Description of use variance (not allowed in that zone) TO OPEN A CANNABIS DISPENSARY

Area variance needed? Yes /  No

Description of area variances needed (Parking/ height ect...)

Description of agenda use? TO OPEN A CANNABIS DISPENSARY

Code enforcement research (attached if applicable) YES

Legal opinion/ research (attached if applicable)

Scott Hayes  
Code Enforcement Officer



# CITY OF LACKAWANNA DEPARTMENT OF DEVELOPMENT

714 Ridge Road – Room 309  
Lackawanna, NY 14218  
Tel: (716) 827-6421 Fax: (716) 827-1866



## APPLICATION TO THE CITY OF LACKAWANNA ZONING BOARD OF APPEALS

Date: 02/07/2025

Application No. \_\_\_\_\_

Application Fee:

Fee

<input checked="" type="checkbox"/> Land Use Variance	<i>SPECIAL Use Permit</i>	\$ 250.00
<input type="checkbox"/> Zoning Law Appeal		\$ 250.00

Property Address: 2470 Hamburg Turnpike, Lackawanna, NY 14218

S.B.L. No. 141.59-5-1

Description of Action to be Appealed: \_\_\_\_\_

Application for approval for a New York State licensed adult-use retail cannabis dispensary

\_\_\_\_\_

\_\_\_\_\_

APPLICATION IS HEREBY MADE to the City of Lackawanna Zoning Board of Appeals for a Land Use Variance and/or Zoning Law Appeal as required by the Municipal Code of the City of Lackawanna. The applicant hereby agrees to comply with all applicable laws, rules, ordinances and regulations.

Director of Development

Jacob Hicks  
Name of Applicant

100 Franklin St, Boston, MA 02110  
Address of Applicant

[Redacted]  
Applicant's Email

DocuSigned by:  
Jacob Hicks  
Signature of Applicant

[Redacted]  
Applicant Phone No.

Agent  
Role of Applicant to Project  
(owner, attorney, lessee, agent,  
architect, engineer, contractor...)

Property Owner:  
FTS DEVELOPMENT LLC  
NAME: PRESIDENT JAMES A GRYS

Address: 135 CARVERT BLVD TONAWANDA  
NY 14150

CITY OF LACKAWANNA  
DEPARTMENT OF DEVELOPMENT, DIVISION OF PLANNING & ZONING  
714 RIDGE ROAD LACKAWANNA, NY 14218

Tree Market NY LLC  
Planning & Zoning Board Application  
Site Plan Review and Special Use Permit  
2470 Hamburg Pike Lackawanna, NY 14218

**Written Summary of Use**

Tree Market NY LLC (“Tree Market”) is proposing a 3,350-square-foot ground-level adult-use Cannabis Retail Dispensary at 2470 Hamburg Pike, also identified on the City’s Tax Map as SBL # 141.59-5-1 (“the Property”). The property is improved with an existing building, with site work being accomplished to provide landscaping along the side of the building, creating a cohesive and enhanced streetscape. Additional improvements include new concrete walkways and curb cuts for both safety and aesthetics, as well as seven additional parking spaces. The building’s façade will be refreshed, complementing the proposed signage, which will comply with the requirements outlined in § 93-4.

The interior will feature new finishes and will consist of a sales floor, reception area, vault, office, break room, one ADA-compliant toilet, and one non-ADA toilet. The facility will be equipped with a three-pronged security system, including 24/7 video surveillance with 4K capabilities, an access control system, and an alarm system, ensuring compliance with § 93-3.

**The Property Location & City and State Support**

The Property is located within the Mixed Commercial/Industrial Zone (MCI), where the proposed use is permitted. The Property also meets all minimum distance requirements set forth by the State of New York’s Office of Cannabis Management in § 119.4, as well as the City of Lackawanna’s zoning and minimum distance requirements outlined in § 93-2. Please see the attached Buffer Memo, which details these distance requirements and specifies the Property’s exact proximity to sensitive use areas.

As part of the State of New York’s licensing process for adult-use cannabis businesses, Tree Market fulfilled its Municipal Notification requirement, formally notifying the City of Lackawanna of its intent to operate an adult-use cannabis dispensary at the Property. The Municipal Notification was received by the City of Lackawanna on November 14, 2023. Tree Market has since been granted final adult-use retail license approval from the New York Office of Cannabis Management, with an issuance date of October 17, 2024 (License #: OCM-RETL-24-000212).

**Operations, Generally**

Employees and Hours of Operation

Tree Market anticipates employing 15 FTE staff in connection with the retail cannabis dispensary. Like other commercial retail businesses, there will be staff charged with working the sales floor, cash register, and fulfilling orders, and there will also be management positions available to be filled. Hiring will be local. The dispensary will operate in two shifts, where up to 7 employees will be working at a time. In adherence with § 93-2, the business will not operate between the hours of 1:00 a.m. and 7:00 a.m. The proposed hours of operation are between 10 a.m. and 8:00 p.m., 7 days a week.

### Operational Requirements

Tree Market will strictly adhere to all restrictions as to noise, odor, signage, and security as outlined in Ordinance § 93 in the City of Lackawanna's Municipal Code:

1. *Odor at the facility shall be maintained to limit odor onto adjoining properties to the greatest extent possible.* Tree Market will take all necessary steps to minimize odor emissions onto adjoining properties. As Tree Market is not an on-site consumption facility, no cannabis products may be opened or consumed on-site. Staff and 24/7 video surveillance will actively monitor the exterior of the premises to ensure compliance. All cannabis products arrive at the facility in vacuum-sealed, child-resistant packaging, which prevents odor leakage. Products will remain in this condition when leaving the premises after purchase.
2. *No on-street parking is permitted.* On-street parking will not be permitted. The property complies with the zoning requirement of one parking space per 250 square feet of sales floor area. With a sales floor of 1,830 square feet, only six parking spaces are required. However, Tree Market will provide a total of 12 parking spaces—more than double the requirement—including four existing spaces, one ADA-compliant space, and seven newly added spaces.
3. *Addressing Delivery and Drive-Thru Requirements:* Tree Market will not operate a drive-thru service. At this time, the business has chosen not to pursue a delivery endorsement with the State of New York. Should Tree Market decide to introduce delivery or drive-thru services in the future, it will seek the necessary approvals through the City of Lackawanna and the State of New York in accordance with applicable land use regulations.
4. *Only on sign advertising the business shall be permitted on the building and shall not exceed 10% of the size of the wall upon which the sign is located.* Tree Market will install only one sign on the building, which will not exceed 10% of the total wall area. The proposed sign will be 5% of the wall's size, well within regulatory limits. No freestanding signs will be installed.
5. *Any illuminated sign shall not be flashing, rotating, or otherwise moving in a way that distracts highway traffic or disturbs nearby residents.* Tree Market will install recessed lighting on the sign, with no flash, rotation, or movement.

### Security

Tree Market is committed to implementing comprehensive security measures for its business and will comply with adherence to § 93-3 of the City of Lackawanna's Cannabis Ordinance. The

facility will be equipped with a 4K camera system capable of night vision, providing continuous video and audio surveillance of all areas of the property (excluding the bathrooms on the interior).

All recordings will be securely stored and retained for a minimum of thirty (30) calendar days. Tree Market will utilize Hikvision for video surveillance and Honeywell for access control and alarm systems. A floor plan overlay detailing the security system layout has been provided with the application and will be updated to reflect any construction modifications.

Additionally, the dispensary will implement secure storage solutions for all cash transactions on the premises, minimizing potential risks associated with cash handling. Tree Market will hire a third-party cash transporter, cash will be picked up in unmarked vehicles and accompanied by two-armed guards.

By instituting these security protocols, Tree Market aims to ensure the safety of its customers, employees, and the surrounding community, fully aligning with the security mandates specified in § 93-3.

### Refuse & Recycling

Refuse and recyclables will be stored on the left-hand exterior of the building, as shown in the Site Plan ("Garbage Totes Area"), and collected weekly by a private waste disposal hauler. Tree Market will maintain two 95-gallon bins, one for garbage and one for recyclables. The hauler will be responsible for non-cannabis waste disposal. Three local waste management quotes have been obtained to ensure reliable service.

Tree Market will comply with New York Cannabis Law Title 9, Subtitle B, Chapter II, Part 125 § 125.11 for cannabis waste disposal. When a product is broken or unusable, it will be disposed of through an approved method, with faulty batches returned to the wholesaler for proper disposal. Cannabis waste will not be disposed of on-site through regular waste collection. Per § 125.11, cannabis waste may be mixed with non-hazardous solid waste, like paper, cardboard, plastic, or sawdust, before disposal at a solid waste management facility. The resulting mixture must be at least 50% non-cannabis waste by weight. At this point and using this method the cannabis is "unusable" and is now defined as non-cannabis refuse. Any alternative disposal methods will require prior approval from the Office of Cannabis Management.

Cannabis waste, once rendered unusable, will be disposed of at an authorized facility or managed on-site per New York State Department of Environmental Conservation guidelines. Tree Market will maintain detailed records of all cannabis disposal activities.





To Esteemed Members of the City of Lackawanna Department of Development,

Below are the State and Local regulations on distance and zoning requirements for cannabis retailers. As outlined below, Tree Market NY LCC complies with all State and Local buffer and zoning requirements.

The site complies with the New York State Cannabis Regulations, **§ 119.4 buffer requirements:**

- Not on the same road and within 200 feet of the entrance of a building occupied exclusively as a house of worship: Not on the same road and located approximately 1,438 ft away from the nearest church (Potter's House Church of God)
- Not on the same road and within 500 feet of the entrance of a building occupied exclusively as a school; Not on the same road and located Approximately 3,245 ft away from the nearest school (Al-Rasheed Academy)

The site also complies with the City of Lackawanna Code **§ 93-2 restrictions**

- No such cannabis uses shall be located within 1,000 feet of another existing cannabis facility set forth above: Located approximately 11,721 ft away from the nearest cannabis facility (Yeti Canna)
- No such cannabis use shall be located within 500 feet of the property line at locations of community facilities and/or where children or those seeking treatment for substance abuse are known to gather, including, but not limited to, public parks, childcare centers, playgrounds, drug rehabilitation centers, medical practitioner's offices, community centers, and other similar facilities: Located approximately 6,970 ft away (1.32 miles) from the nearest Rehab facility (OLV Residential Treatment Facility) and 3,219 feet away from the nearest daycare (St Hyacinth Head Start)
- No such cannabis use facility shall be located within 500 feet of a school building or property and/or within 200 feet of a religious house or place of worship: Located Approximately 1,438 ft away from the nearest church (Potter's House Church of God) Located Approximately 3,245 ft away from the nearest school (Al-Rasheed Academy)
- No cannabis use facility shall be located in any area zoned Single-Family Residential (SFR) or Mixed Residential (MR) in any form. 2470 Hamburg Turnpike is zoned in a Mixed Commercial Industrial Zone.
- No cannabis use facility may be located in any historic district. 2470 Hamburg Turnpike is not located in any historic district

 DRIVEN | DEDICATED | DETERMINED



CITY OF LACKAWANNA  
DEPARTMENT OF DEVELOPMENT

Application Notice

February 14, 2025

Jacob Hicks  
100 Franklin St Suite 404  
Boston, MA 02110

**Re: 2470 Hamburg Tpke**

The above item has been placed on the agenda for the next scheduled meeting of the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna.

Planning and Development Board

Zoning Board of Appeals

**Date:**

**Date: February 26, 2025**

**Time:** \_\_\_\_\_

**Time: 5:00pm**

**City Council Chambers Room 241**  
**Lackawanna City Hall**

If you have any questions please feel free to call 827-6474

Boarding Neighbors  
Prisha NY LLC-2380 Hamburg Tpke  
MLG Contracting – 2424 Hamburg Tpke





CITY OF LACKAWANNA  
DEPARTMENT OF DEVELOPMENT

Bordering Property Notice

Dear Sir or Madam:

As an adjoining property owner in the City of Lackawanna, you are hereby notified that a neighbor has made application to the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna as follow;

- |                                                         |                                                |
|---------------------------------------------------------|------------------------------------------------|
| 1. <input checked="" type="checkbox"/> Site Plan Review | 2. <input type="checkbox"/> Special Use Permit |
| 3. <input type="checkbox"/> Development Plan Review     | 4. <input type="checkbox"/> Variance           |
| 5. <input type="checkbox"/> Zoning Law Appeals          |                                                |

**Property owner: Jacob Hicks**

**Address: 2470 Hamburg Tpke**

**In reference to: Special use permit for cannabis dispensary**

You are entitled to appear at the public hearing scheduled for 2/26/25@ 5:00pm in Council Chambers at Lackawanna City Hall to express your support or opposition to the granting of said application.

Communications, relating to the application, may be filed with the appropriate Board before the meeting by writing to:

Planning & Development Board/Zoning Board  
Department of Development  
714 Ridge Road, Room 309  
Lackawanna, NY 14218

If you have any questions regarding the meeting, please call 716-827-6474

PLANNING AND DEVELOPMENT BOARD, CITY OF LACKAWANNA  
ZONING BOARD OF APPEALS, CITY OF LACKAWANNA



# LACKAWANNA TREE MARKET NY LLC

2470 HAMBURG TURNPIKE, CITY OF LACKAWANNA, NY 14218

**OWNER/ APPLICANT:**

**PROPERTY OWNER:**  
FTS DEVELOPMENT LLC, PRESIDENT JAMES A GRYS  
135 CARVERT BLVD TONAWANDA, NY 14150

**TREE MARKET NY LLC OWNER:**

DIANA SHANE  
15627 NE 107 CT., REDMOND, WA 98052

**ARCHITECT:**

VIVID ARC  
511 S BROAD AVE., 2ND FL  
GLEN ROCK, NJ 07452



TELEPHONE NUMBER: 551.206.6198  
E-MAIL ADDRESS: arlene@vivid-arc.com  
WEBSITE: vivid-arc.com

LACKAWANNA TREE MARKET NY  
LLC  
2470 HAMBURG TURNPIKE, CITY OF LACKAWANNA, NY 14218

FTS DEVELOPMENT LLC- PRESIDENT JAMES A GRYS & DIANA SHANE

**GENERAL NOTES**

- CONTRACTOR SHALL VERIFY ALL CONDITIONS COVERING OR AFFECTING THE STRUCTURAL WORK, OBTAIN ALL DIMENSIONS TO ENSURE THE PROPER STRENGTH, AND INVESTIGATION OF THE STRUCTURE WORK REPORT TO THE ARCHITECT AND/OR ENGINEER ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE NEW WORK. NOTIFY ARCHITECT OF ALL CONFLICTS.
- ALL CONSTRUCTION SHALL COMPLY FULLY WITH THE APPLICABLE PROVISIONS OF OSHA AND THE LOCAL OR STATE BUILDING CODE'S LATEST EDITION. ALL REQUIREMENTS IN THE CODE SHALL BE ADHERED TO AS IF THEY WERE CALLED FOR, OR SHOWN ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH ON THE DRAWINGS MAY BE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY CODE.
- THIS SET OF CONSTRUCTION DRAWINGS WITH ITS ACCOMPANYING SPECIFICATIONS, TOGETHER WITH AIA DOCUMENT A101, OWNER-CONTRACTOR AGREEMENT, AND AIA DOCUMENT A201, GENERAL CONDITIONS, SHALL CONSTITUTE THE CONTRACT DOCUMENTS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND PERFORM ALL WORK DESCRIBED IN THE ACCOMPANYING SECTION OF THESE SPECIFICATIONS, AS HEREIN ENUMERATED AND SHOWN ON THE ACCOMPANYING DRAWINGS.
- CONTRACTOR TO COMPLETELY INSPECT SITE CONDITIONS PRIOR TO SUBMITTING A BID PRICE. ANY OMISSION OR OVERSIGHT ON THE PART OF THE CONTRACTOR WILL NOT BE CONSIDERED SUFFICIENT GROUNDS TO JUSTIFY ADDITIONAL COMPENSATION.
- CONTRACTOR TO VERIFY ALL CONDITIONS IN THE FIELD BRINGING ANY DISCREPANCIES BETWEEN DRAWN INTENT AND EXISTING CONDITIONS TO THE ATTENTION OF THE ARCHITECT PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR TO VERIFY DIMENSIONAL ACCURACY OF ALL DRAWINGS IN FIELD. NOTIFY ARCHITECT OF ALL CONFLICTS.
- ALL MATERIALS AND PRODUCTS ARE TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. EXCEPTIONS TO BE APPROVED BY OWNER IN WRITING.
- THE CONTRACTOR SHALL PROTECT THE WORK AND ALL ADJACENT PROPERTY FROM LOSS OR DAMAGE RESULTING FROM ITS OPERATIONS, AND IN THE EVENT OF SUCH LOSS OR DAMAGE, SHALL MAKE SUCH REPLACEMENTS OR REPAIRS AS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL MATERIALS STORED WITHIN THE BUILDING SHALL BE NEATLY STACKED. MATERIAL SHALL NOT BE STORED OUTSIDE THE BUILDING. DO NOT STORE COMBUSTIBLE MATERIAL ON THE PREMISES FOR A PERIOD LONGER THAN NECESSARY FOR THE EXECUTION OF THE WORK.
- CONTRACTOR TO PROVIDE ALL LABOR ACCESSORIES NECESSARY TO INSTALL OWNER SUPPLIED ITEMS, INCLUDING BUT NOT LIMITED TO: LIGHT FIXTURES, PLUMBING FIXTURES, APPLIANCES, ETC.
- ALL WORK TO BE PERFORMED BY LICENSED TRADESMAN POSSESSING VALID INSURANCE.
- CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR ALL CABINETS.
- CONTRACTOR TO VERIFY THE ADEQUACY OF THE EXISTING ELECTRICAL POWER FOR THE INTENDED NEW USE AND PROVIDE PRICE FOR ADDITIONAL POWER IF IT IS FOUND TO BE NECESSARY TO COMPLETE THE REQUIRED WORK.
- CONTRACTOR TO PROVIDE WORKMAN'S COMP, PUBLIC LIABILITY, CONTRACTOR'S PROPERTY DAMAGE AND VEHICLE LOSS INSURANCE.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL PORTIONS OF THE STRUCTURE TO REMAIN. MAINTAIN EXISTING UTILITIES TO ADJACENT AREA & PROTECT AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY BUILDING MATERIALS & DEBRIS GENERATED DURING DEMOLITION & CONSTRUCTION.
- WALL AND CEILING FINISHES ARE TO HAVE A FLAME SPREAD CLASSIFICATION NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX NOT IN EXCESS OF 450.
- IN ACCORDANCE WITH SITE PLAN, REMOVE ALL VEGETATION OR REFUSE IN CONFINES OF BUILDING CONSTRUCTION AND PAVING CONSTRUCTION AND PAVING CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK.
- EXCAVATE AS REQUIRED TO PROVIDE SUFFICIENT WORKING ROOM FOR THE LAYING OF PROPER VAPOR BARRIER WHERE REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL THE NECESSARY SUPPORT, BRACING, SHORING, ETC. (TEMPORARY AND/OR PERMANENT) AS REQUIRED FOR THE SAFE INSTALLATION OF NEW CONSTRUCTION.
- BACKFILLING OF WALLS IN INTERIOR AREAS WHERE CONCRETE SLABS WILL BEAR ON GRADE SHALL BE GRITS OR BACKRUN GRAVEL, WELL COMPACTED, BROUGHT TO A SUBGRADE OF 12" BELOW FINISH FLOOR LINE OR AS CALLED FOR IN DRAWINGS.
- REMAINDER OF SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER FROM BUILDING.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL PORTIONS OF THE STRUCTURE TO REMAIN. MAINTAIN EXISTING UTILITIES TO ADJACENT AREA & PROTECT AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY BUILDING MATERIALS & DEBRIS GENERATED DURING DEMOLITION & CONSTRUCTION.

**DEMOLITION NOTES**

- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO FAMILIARIZE THEMSELVES WITH OVERALL SCOPE OF THE PROJECT TO PRODUCE THE FINAL RESULT INTENDED IN THE CONTRACT DRAWING BEFORE WORK IS BEGUN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL BARRICADES, FENCES, TEMPORARY BRACING, SUPPORTS, SHORING OR OTHER SAFETY MEASURES TO EXISTING STRUCTURE AS REQUIRED, TO INSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.
- DEMOLITION CONTRACTOR SHALL INCLUDE COMPLETE REMOVAL OF ALL MATERIALS AND DEBRIS FROM SITE, LEAVING THE AREA CLEAR AND CLEAN FOR THE NEW CONSTRUCTION. ALL WORK DEMOLISHED AND THE DEBRIS RESULTING THEREFROM, BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY AT FREQUENT INTERVALS. CONTRACTOR MUST PROVIDE ALL BARRICADES AND PROTECTION AS REQUIRED TO INSURE SAFETY.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, STANDARDS AND GOOD PRACTICE. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY & HOLD THE ARCHITECT OR ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK.
- THE EXISTING STRUCTURE SHALL BE BRACED DURING ERECTION USING TEMPORARY BRACING IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & RELATED FEES.
- CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING, SUPPORTS, AND SHORING TO EXISTING STRUCTURE AS REQUIRED DURING ERECTION & IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF THE SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.

**HAZARDOUS MATERIALS:**  
IF THE PRESENCE OF UNANTICIPATED HAZARDOUS MATERIALS IS ASCERTAINED OR SUSPECTED DURING CONSTRUCTION, IMMEDIATELY CEASE WORK IN THE IMMEDIATE AREA OF THE MATERIALS ENCOUNTERED. CONTACT THE OWNER PRIOR TO ARRANGING TO HAVE THE TOXICITY AND EXTENT OF THE MATERIALS TESTED. A DETERMINATION BY THE OWNER AND THEIR CONSULTANT(S) WILL BE MADE AS TO THE PREFERRED METHOD OF ISOLATING, REMOVING AND DISPOSING OF THE HAZARDOUS MATERIAL.

**CONSTRUCTION NOTES**

- CONSTRUCTION NOTES ARE SUPPLEMENTAL TO GENERAL NOTES FOR THE PROJECT. REVIEW GENERAL NOTES PRIOR TO COMMENCEMENT OF WORK.
- DO NOT SCALE DRAWINGS. ANY DIMENSIONAL CLARIFICATIONS OR ADDITIONAL INFORMATION WILL BE FURNISHED BY THE ARCHITECT UPON WRITTEN REQUEST OF THE CONTRACTOR. ARCHITECT'S CONSTRUCTION PLAN SUPERCEDES ALL OTHER PLANS, BUT DOES NOT LIMIT CONTRACTOR TO CONSTRUCTION PLAN WORK ONLY.
- ALL DIMENSIONS ARE FINISH TO FINISH UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" SHALL BE EXPRESSLY MAINTAINED. ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, CERAMIC TILES, VCT, ETC.
- ALL DOORS FRAMES SHALL BE LOCATED 4" FROM FACE OF ADJACENT PERPENDICULAR WALL TO INSIDE FACE OF DOOR JAMB UNLESS OTHERWISE INDICATED. COMPLY WITH ANSI 117.1-2003 MANICURING REQUIREMENTS.
- ALL NEW PARTITIONS SHALL BE PERPENDICULAR OR PARALLEL OF BUILDING DATUM UNLESS OTHERWISE NOTED.
- FRAMING CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND COMMUNICATIONS SECURITY CONTRACTOR REGARDING LOCATIONS OF POWER AND COMMUNICATIONS RECEPTACLES AND TERMINATIONS, AND ANY OTHER SPECIAL FRAMING REQUIREMENTS. PROVIDE LATERAL BRACING OF PARTITIONS ABOVE CEILING AS REQUIRED. BRACING SHALL BE PROVIDED IN CONFORMANCE WITH ACCEPTABLE PRACTICE, APPLICABLE CODE, OR AS OTHERWISE MAY BE OUIRED BY THE LOCAL SUB-CODE OFFICIAL.
- PROVIDE WOOD BLOCKING AS REQUIRED AT ALL PARTITIONS RECEIVING WALL HUNG CABINETS, FIXTURES, HARDWARE, ACCESSORIES, GRAB BARS, AT ALL LOCATIONS WHERE WALL MOUNTED.
- INSTALL WATER RESISTANT GYPSUM BOARD ("GREEN BOARD") IN ALL TOILET ROOMS AND OTHER WET AREAS SUCH AS AT JANITOR'S CLOSETS, ETC.
- PROVIDE CEMENT BOARD BEHIND ALL TILES IN
- INSTALL DRYWALL FURRING AS REQUIRED TO ACCOMMODATE DEPTH OF FIRE EXTINGUISHER CABINETS, RECESSED TOILET ROOM ACCESSORIES, OR OTHER RECESSED FIXTURES OR APPLIANCES SPECIFIED HEREIN. WALL FRAMING TO COMPLY WITH BUILDING CONSTRUCTION TYPE.
- ALL GYPSUM BOARD SURFACES SHALL BE TAPED, SPACKLED, AND SANDED AS REQUIRED TO RECEIVE SCHEDULED FINISHES.
- INSTALL GYPSUM BOARD "NOMINALLY TIGHT" (1/4") TO FLOOR SLAB, TO PREVENT POOR INSTALLATION OF WALL BASE.
- FRAME AND DRYWALL AROUND DUCTWORK PENETRATING PARTITIONS. GAP BETWEEN FRAMED OPENINGS AND DUCT SHALL NOT EXCEED (1/2"). WHERE DUCTWORK PENETRATES FIRE RATED PARTITIONS, PROVIDE FIRE AND/OR SMOKE DAMPERS AS INDICATED ON ENGINEERING DRAWINGS, OR AS OTHERWISE REQUIRED BY CODE. FILL ALL PENETRATIONS IN FIRE RATED PARTITIONS WITH APPROVED FIRE STOP MATERIALS, AS REQUIRED TO MAINTAIN FIRE RATING.
- INSTALL FIRE EXTINGUISHER CABINETS IN LOCATIONS SHOWN ON DRAWINGS.
- ALL FIRE EXTINGUISHERS SHALL BE NEW, AND SHALL BE INSTALLED JUST PRIOR TO TENANT OCCUPANCY UNLESS OTHERWISE DIRECTED BY SUB-CODE OFFICIAL.

**PLUMBING NOTES**

- PLUMBING CONTRACTOR TO CONFORM TO THE LATEST NATIONAL STANDARD PLUMBING CODE, NJ EDITION.
- CONTRACTOR TO MAKE PLUMBING WORK AND CONTROLS ACCESSIBLE TO EACH INDIVIDUAL UNIT TO THE GREATEST EXTENT POSSIBLE.
- PLUMBER TO VERIFY EXISTING WATER PRESSURE IN THE STREET AND SIZE SUPPLY LINES AND SELECT FIXTURES ACCORDINGLY.

**GENERAL DESCRIPTION**

- USE GROUP: MIXED COMMERCIAL/ INDUSTRIAL
- CONSTRUCTION TYPE: TYPE 2B (ASSUMED)
- AREA: GROUND FLOOR (GROSS) 3350 SF

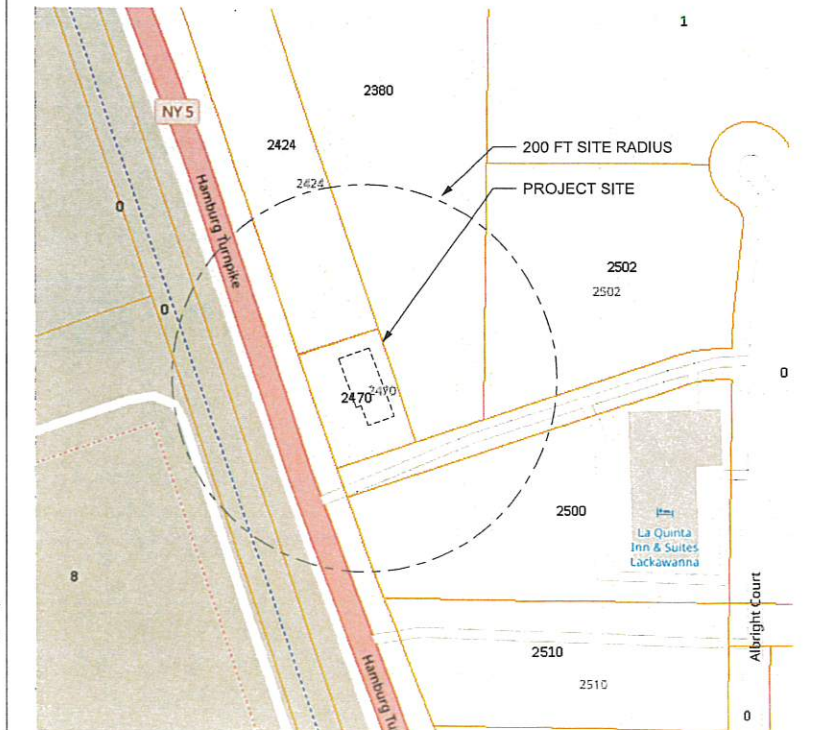
**PARKING REQUIREMENTS**

RETAIL STORES (DETACHED) 1 PER 250 SQUARE FEET OF SALE FLOOR AREA

1283 SF / 250 = 6 PARKING SPACE REQUIRED

EXISTING 4 SPACE + ADA SPACE PROVIDING 7 NEW PARKING SPACE

**KEY MAP**



**PROJECT NARRATIVE**

THE PROJECT IS PROPOSING THE GROUND LEVEL COMMERCIAL SPACE ON HAMBURG TURNPIKE TO BE A CANNABIS ESTABLISHMENT.

THIS PROJECT CONSISTS OF A SALES FLOOR, RECEPTION AREA, VAULT, OFFICE, BREAKROOM, 1 ADA TOILET, 1 NON-ADA TOILET.

NEW FINISHES INTERIOR AND EXTERIOR. EXTERIOR WILL HAVE NEW SIGNAGE. CREATING PARKING SPACES AND PROPOSES NEW LANDSCAPING. NO CHANGES TO EXISTING UTILITIES.

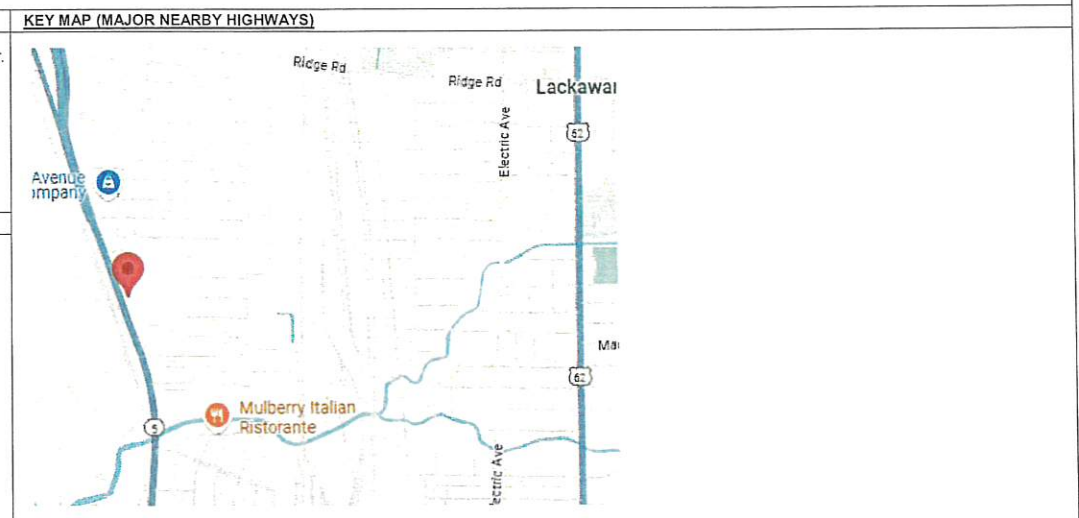
**DRAWING LIST**

T-001 COVER SHEET

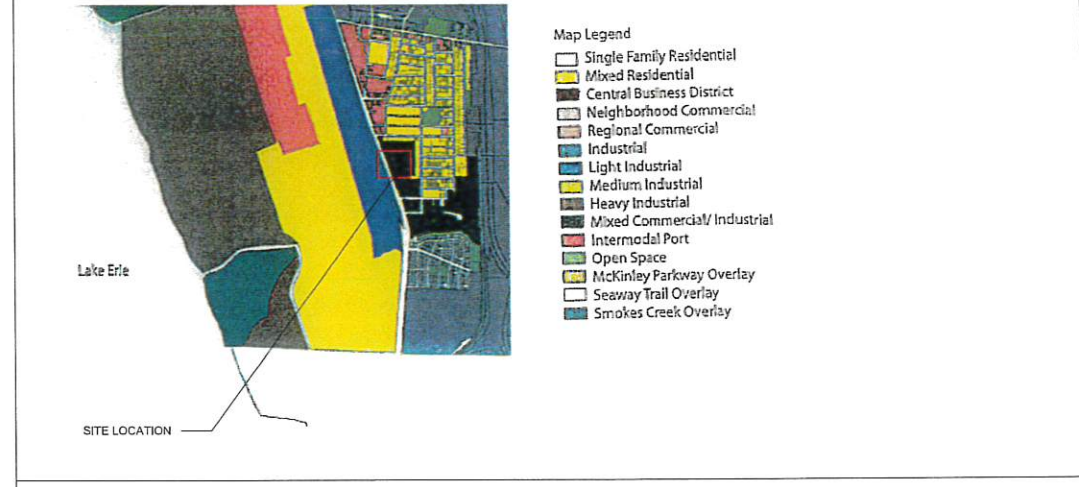
A-001 EXISTING & PROPOSED SITE PLAN

A-100 DEMOLITION & PROPOSED FLOOR PLANS

A-101 PROPOSED ELEVATIONS



**ZONING MAP:**



**SITE PLAN SIGNATURE BLOCK**

APPROVED BY THE BOARD OF ADJUSTMENT OF THE CITY OF LACKAWANNA AT A MEETING HELD ON THE DAY OF \_\_\_\_\_, 20\_\_

PLANNING BOARD CHAIRPERSON BOARD SECRETARY

CITY CLERK CITY ENGINEER

RESOLUTION NUMBER DATE

**KEY PLAN:**

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ARCHITECT

ARCHITECT OF RECORD:  
ARLENE DOMINGUEZ  
NY LIC. NUMBER: 043511

These construction drawings are in the exclusive use of the particular project they illustrate. Vivid Arc, LLC retains ownership of the document and in the sole authority to authorize its reproduction or other use.

DATE	DRN	CHK	DESCRIPTION	
01/24/2025	JS	AD	PB SET	
REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.: 1337  
SCALE: 1/8" = 1'-0"

DIWG. NAME: COVER SHEET

DIWG. NO.: T-001

SHEET NO. OF PLOT DATE





RIGHT TURN ONLY SIGN



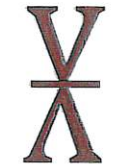
95 GALLON BIN DIMENSIONS

ZONING BULK CHART

ZONE - MCI (MIXED COMMERCIAL AND INDUSTRIAL)

	REQUIRED	EXISTING	PROPOSED	VARIANCE
<b>Lot Dimensions</b>				
Minimum Lot Size	1 acre	13720 SF (0.315 ACRE)	E.T.R.	NO
Minimum Road Frontage	50 feet	140 FT	E.T.R.	NO
<b>Floor Area</b>				
Minimum	10,000 square feet	3349 SF	E.T.R.	NO
Maximum Building Height	3 stories or 30 feet	1 STORY	E.T.R.	NO
<b>Yard Sizes</b>				
Minimum Front Yard	20 feet	50 FT	E.T.R.	NO
Minimum Side Yard	20 feet	20FT; 32FT	E.T.R.	NO
Minimum Rear Yard	20 feet	8.61'	E.T.R.	E.N.C.
Maximum Lot Coverage	80%	65%	67%	NO
Minimum Landscaping Coverage	20%	35%	33%	NO
Min. Residential Buffer Dimensions	30 feet wide and 8 feet high	EXCEEDS MIN. REQ.	EXCEEDS MIN. REQ.	NO

E.T.R. - EXISTING TO REMAIN  
E.N.C. - EXISTING NON-CONFORMING



VIVID ARC

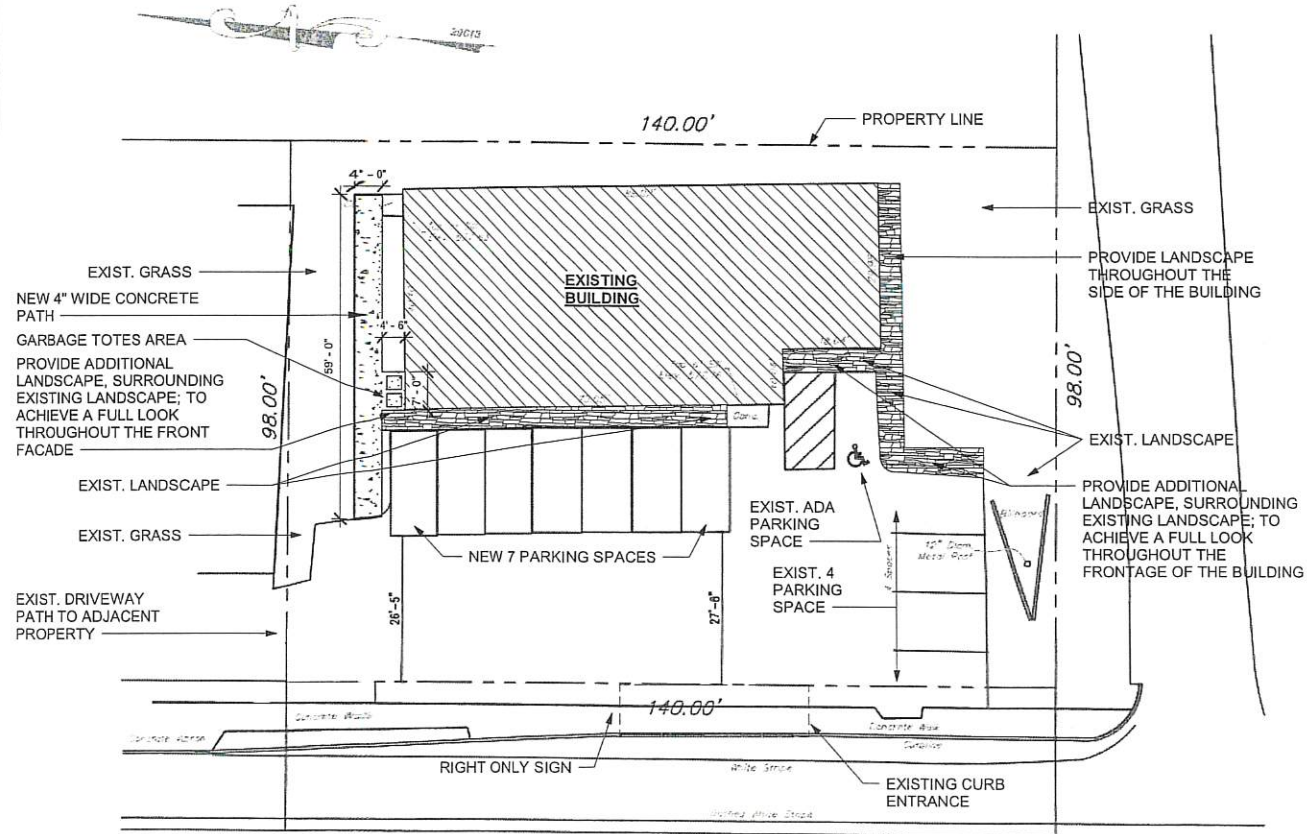
TELEPHONE NUMBER: 551.206.6196  
E-MAIL ADDRESS: arlene@vivid-arc.com  
WEBSITE: vivid-arc.com

LACKAWANNA TREE MARKET NY  
LLC

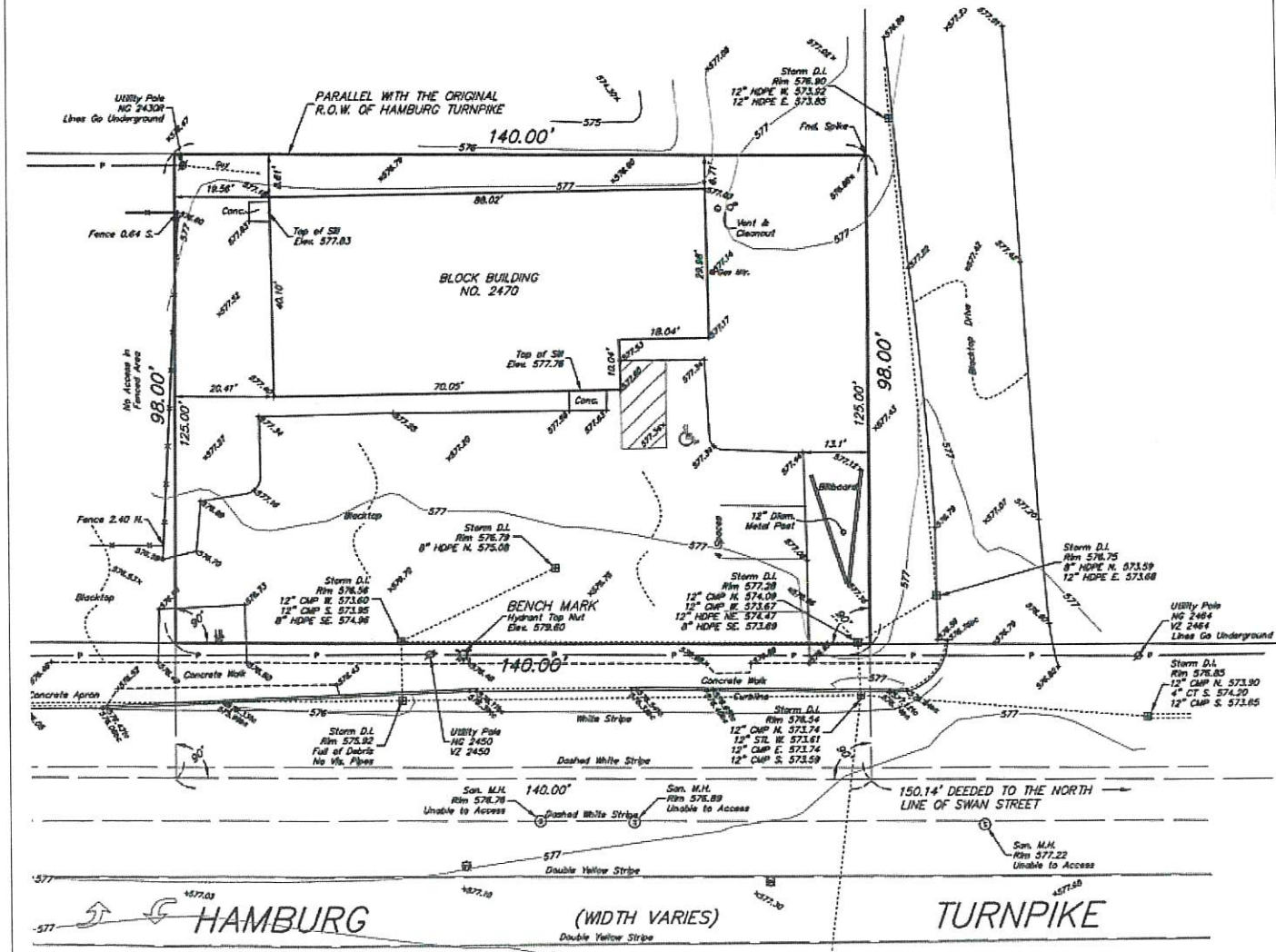
2470 HAMBURG TURNPIKE, CITY OF LACKAWANNA, NY 14218

FTS DEVELOPMENT LLC - PRESIDENT JAMES A GRYS & DIANA SHANE

- EXISTING LANDSCAPING TO BE ENHANCED
- NEW CONCRETE WALKWAYS
- EXISTING BUILDING



2 PROPOSED SITE PLAN  
1/16" = 1'-0"



1 EXISTING SITE PLAN  
1/16" = 1'-0"

KEY PLAN:



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ARCHITECT  
ARCHITECT OF RECORD:  
ARLENE DOMINGUEZ  
NY LIC. NUMBER: 945511

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DATE	DRN	CHK	DESCRIPTION	
02/20/2025	JS	AD	PB SET	
REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.: 1337  
SCALE: As indicated

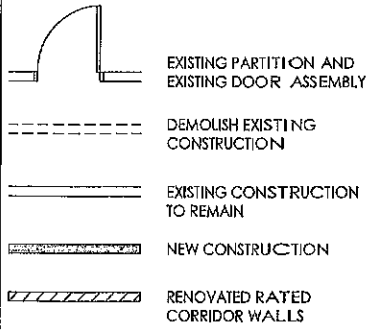
DWG. NAME: EXISTING & PROPOSED SITE PLAN

DWG. NO.: A-001

SHEET NO. OF PLOT DATE

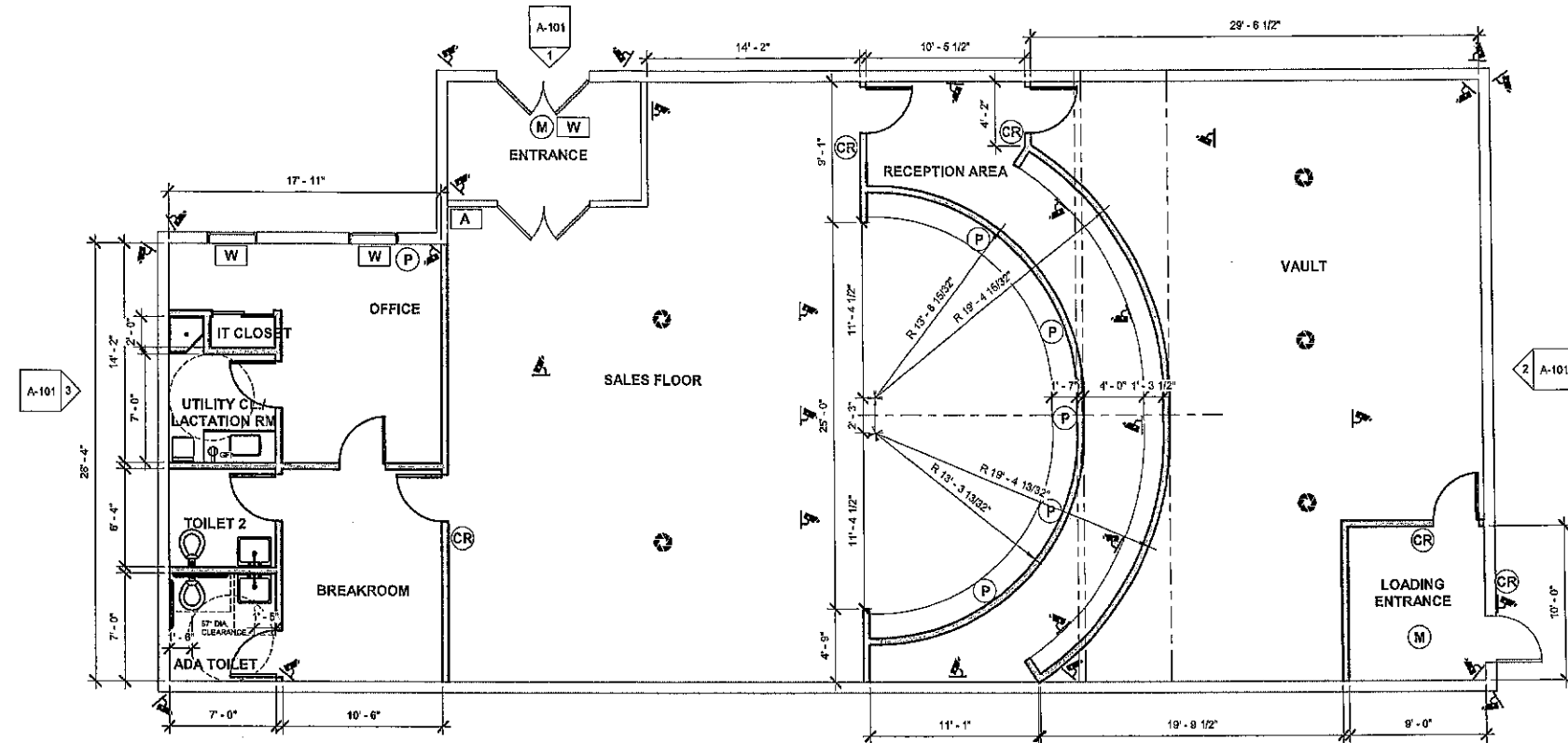
NOTE:  
PREPARED BY TRUE NORTH  
LAND SURVEYING, PLLC  
DATE: 01/13/2025

**WALL LEGEND:**

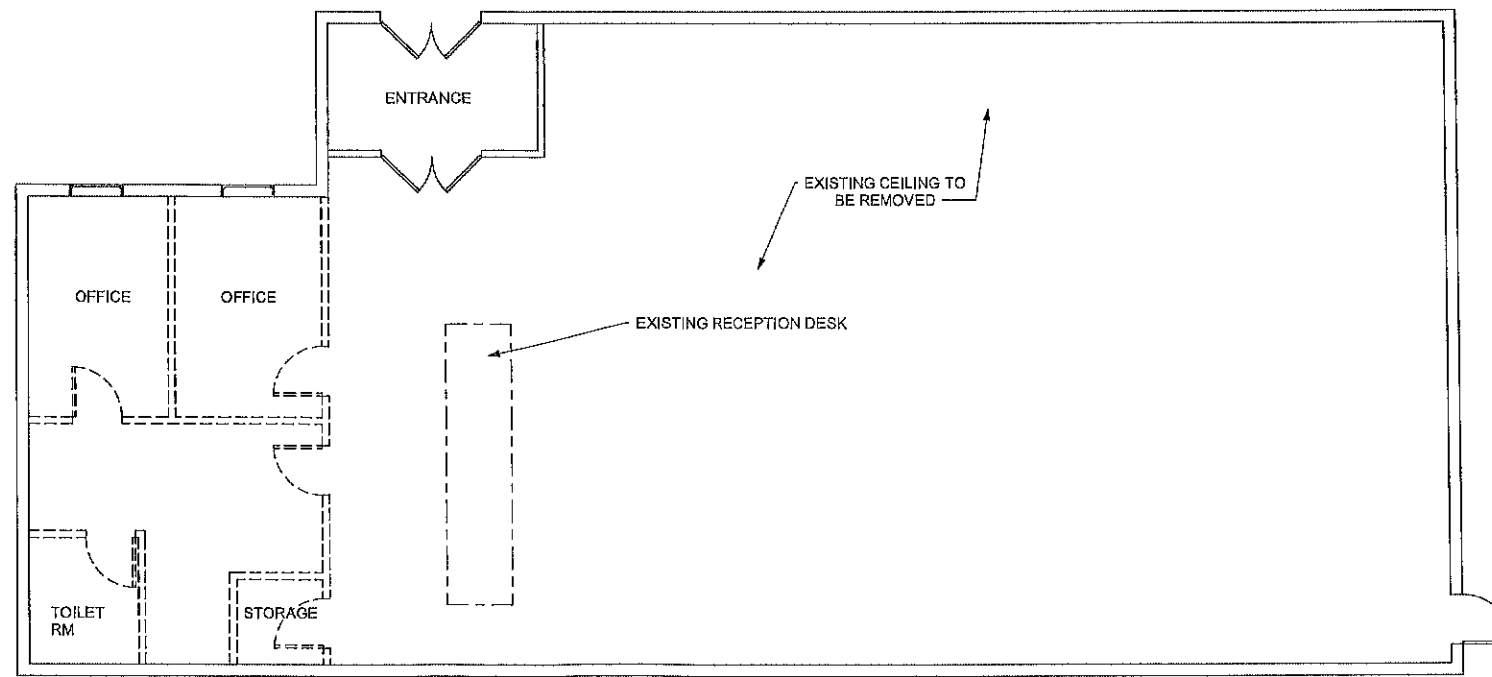


**SECURITY OVERLAY**

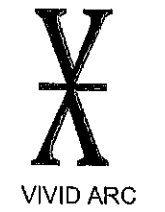
ICON	DESCRIPTIONS	QUANTITY
	CCTV SINGLE	23
	CCTV FISHEYE	5
	WINDOW BREAK	3
	ALARM PANEL	1
	MOTION SENSOR	2
	CARD READER/ACCESS	3
	PANIC BUTTONS	6



2 PROPOSED FLOOR PLAN  
3/16" = 1'-0"



1 EXISTING FLOOR PLAN  
3/16" = 1'-0"



TELEPHONE NUMBER: 551.205.6166  
EMAIL ADDRESS: info@vivid-arc.com  
WEBSITE: vivid-arc.com

LACKAWANNA TREE MARKET NY  
LLC  
2470 HAMBURG TURNPIKE, CITY OF LACKAWANNA, NY 14218

FTS DEVELOPMENT LLC- PRESIDENT JAMES A GRY'S & DIANA SHANE

KEY PLAN:



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ARCHITECT  
ARCHITECT OF RECORD:  
ARLENE DOMINGUEZ  
NY LIC. NUMBER: 043511

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DATE	DRN	CHK	DESCRIPTION
01/24/2025	JS	AD	PB SET

REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.: 1337  
SCALE: As Indicated

DWG. NAME:  
**DEMOLITION & PROPOSED FLOOR PLANS**

DWG. NO.:  
**A-100**

SHEET NO. OF PLOT DATE





VIVID ARC

TELEPHONE NUMBER: 516.206.6198  
E-MAIL ADDRESS: arlenis@vivid-arc.com  
WEBSITE: vivid-arc.com

LACKAWANNA TREE MARKET NY  
LLC  
2470 HAMBURG TURNPIKE, CITY OF LACKAWANNA, NY 14218

KEY PLAN:



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND  
SEALED BY ARCHITECT  
ARCHITECT OF RECORD:  
ARLENIS DOMINGUEZ  
NY LIC. NUMBER: 043511

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DATE	DRN	CHK	DESCRIPTION	
01/22/2025	JS	AD	PB SET	
REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.: 1337  
SCALE: 3/16" = 1'-0"

DWG. NAME:  
PROPOSED  
ELEVATION

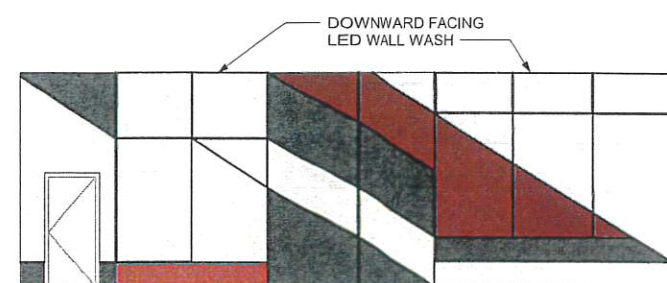
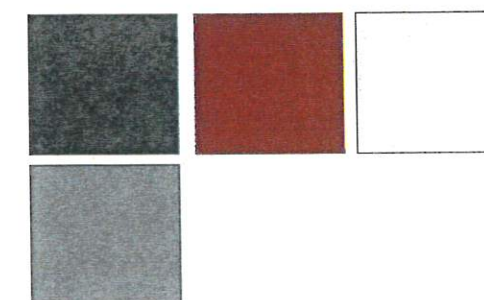
DWG. NO.:  
A-101

SHEET NO. OF PLOT DATE

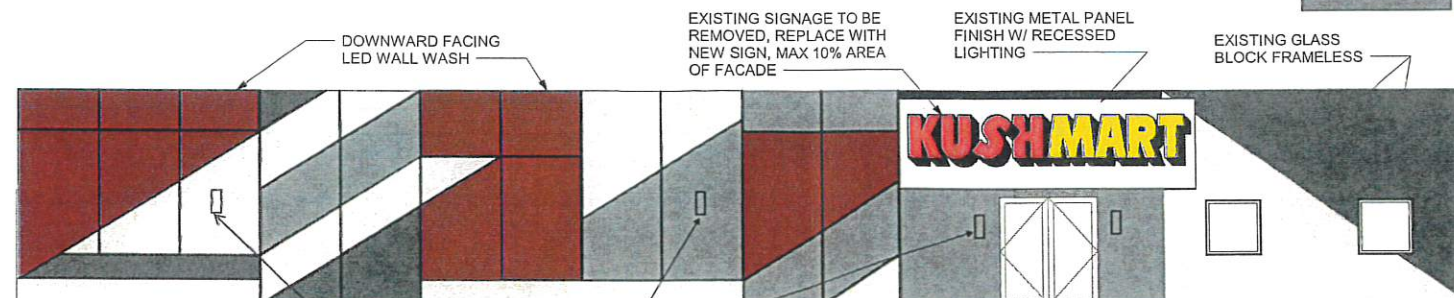
SIGN COLORS:

#c13624 R: 239 G: 59 B: 36	#f4d512 R: 244 G: 213 B: 18
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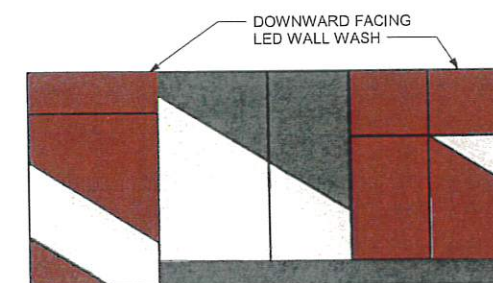
BUILDING PAINT COLORS:



2 LEFT FACADE  
3/16" = 1'-0"



1 FRONT FACADE  
3/16" = 1'-0"



3 RIGHT FACADE  
3/16" = 1'-0"

EXTERIOR LIGHTING TO  
ILLUMINATE PARKING LOT. LIGHT  
FIXTURE TO HAVE SHIELD AND  
FOLLOW FOOTCANDLE  
REQUIREMENTS.

EXISTING SIGNAGE TO BE  
REMOVED, REPLACE WITH  
NEW SIGN, MAX 10% AREA  
OF FACADE

EXISTING METAL PANEL  
FINISH W/ RECESSED  
LIGHTING

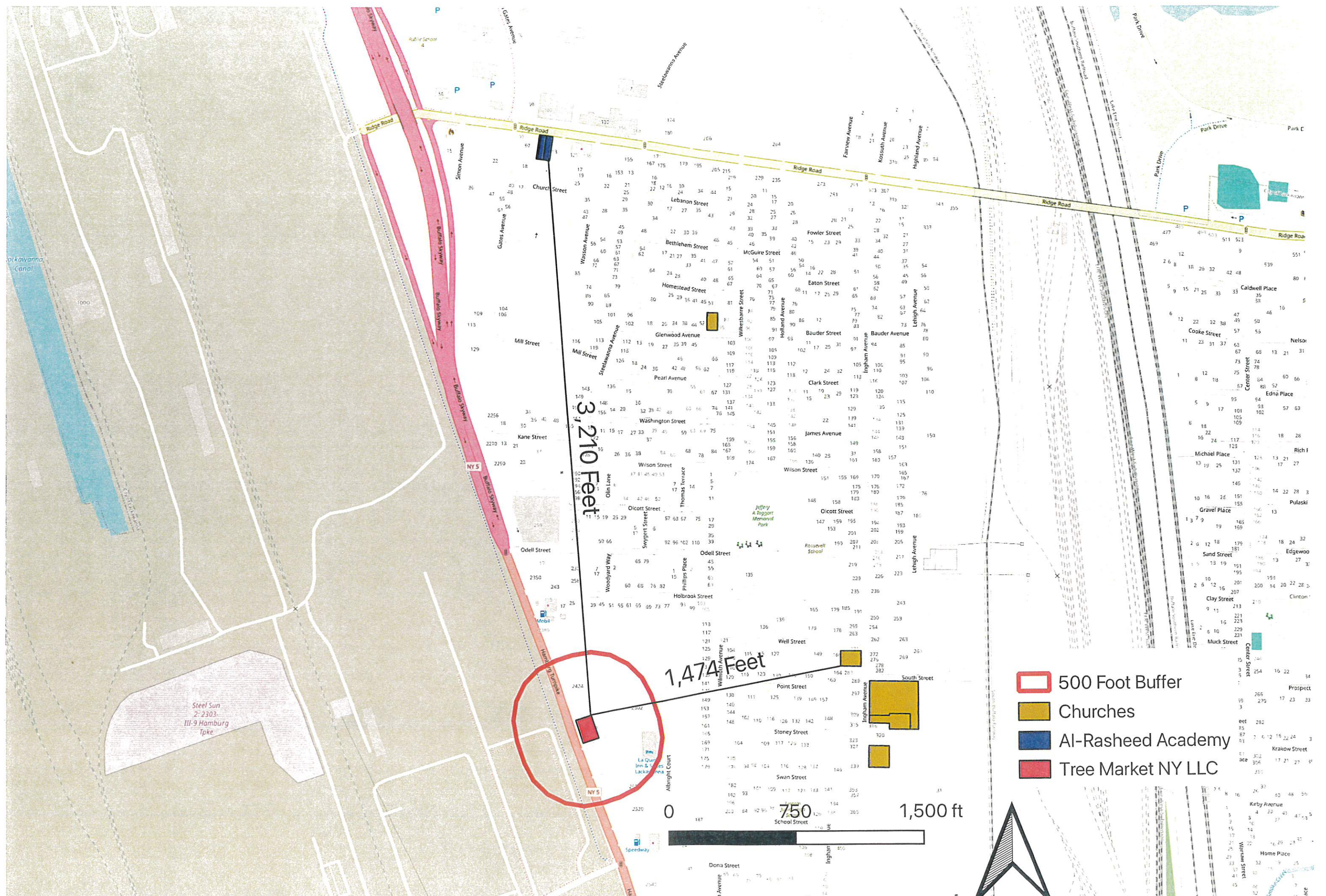
EXISTING GLASS  
BLOCK FRAMELESS

DOWNWARD FACING  
LED WALL WASH

DOWNWARD FACING  
LED WALL WASH

DOWNWARD FACING  
LED WALL WASH





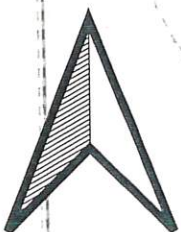
3,210 Feet

1,474 Feet

750

1,500 ft

- 500 Foot Buffer
- Churches
- Al-Rasheed Academy
- Tree Market NY LLC



Steel Sun  
2-2303  
III-9 Hamburg Tpke

Lockawanna Canal

Simon Avenue

Church Street

Mill Street

Mill Street

Kane Street

Odell Street

Odell Street

Holbrook Street

Well Street

Point Street

Stoney Street

Swan Street

Albright Court

Albright Court

Albright Court

Steele Avenue

Fairview Avenue

Kosuth Avenue

Highland Avenue

Ridge Road

Ridge Road

Ridge Road

Ridge Road

Ridge Road

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