



**Department of Public Works
City of Lackawanna**

714 Ridge Road – Room 311
Lackawanna, NY 14218
Tel: (716) 827-6425 Fax: (716) 827-1866

4/3/2025

To: Planning Board
From: Daniel Geercken
Re: Veteran's Stadium Rehab Project

Dear Respected Planning Board Members,

The City of Lackawanna is in the process of starting the Veterans Stadium rehabilitation project, I am requesting the Planning board to be the lead agency for this project.

Please see attached documents (Environmental Assessment Form / Negative Declaration)

Respectfully,

Daniel Geercken
Senior Foreman of Public Works

Daniel Geercken, Senior Foreman

Short Environmental Assessment Form

Part 1 - Project Information

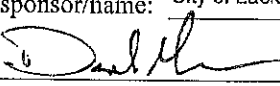
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Veteran's Stadium Rehab Project			
Project Location (describe, and attach a location map): 2960 South Park Avenue, Lackawanna, NY 14218			
Brief Description of Proposed Action: 1. Removal of two 140' Long x 33'-6" Wide x 17' Tall Concrete Grandstands and Foundation and installation of field in its place. 2. Relocation of existing softball field. Installation of one new, competition dimensioned, softball field with hooded backstop & new underdrain system. 3. Installation of 50' x 200' pavilion w/ concrete slab & foundation. Installation of 30' x 90' synthetic ice rink and skate rental/park storage building made from a converted shipping container inside pavilion. Installation of new overhead lighting inside of pavilion. Installation of 285 LF of french drains 4. Installation of new three-room, prefabricated restroom building over new concrete foundation & slab. 5. Installation of new water service w/ RPZ from South of Reddon St. to pavilion & bathrooms. Installation of new sewer lateral from bathrooms to sanitary sewer to South of Reddon St. Tie in existing on-site electrical service to pavilion & bathrooms. 6. Installation of two standard sized sand volleyball courts with underdrains, two horseshoe pits, and six fitness kiosks on mulched area. 7. Replacement of 5 catch basins & 670 LF of drainage piping on North-side of site & tie in softball field underdrain system. 8. Install 2 new catch basins along existing lateral on south-side of, tie volleyball underdrains & french drains to new catch basins 9. Upgrade lighting system and removal of old lighting system.			
Name of Applicant or Sponsor:		Telephone: 716-827-6448	
City of Lackawanna		E-Mail: dpwcommissioner@lackny.com	
Address: 714 Ridge Road			
City/PO: Lackawanna		State: NY	Zip Code: 14218
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			6 acres 2 acres 17 acres
4. Check all land uses that occur on, are adjoining or near the proposed action: <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Places of worship and cemetery <input checked="" type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ New water service will be run from the South side of Reddon Street to the proposed pavilion and yard spigots near the softball fields _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: New french drain and underdrain system flowing into two new catch basins that will intercept an existing storm lateral on the South side of the property. A system of underdrains will be installed under an existing and a new softball field that will tie into an existing drainage system on the North side of the property.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
City incinerator to the east of project site. Closed and remediated.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
In 2020, the DEC removed and remediated the existing pathway along smokes creek, north on project site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>City of Lackawanna - Daniel Geercken</u> Date: <u>7/22/2024</u>		
Signature: <u></u> Title: <u>Senior Foreman of Public Works</u>		

Short Environmental Assessment Form

Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Short Environmental Assessment Form

Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

☒ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

City of Lackawanna Planning Board

Name of Lead Agency
Kimberly Smith

Date
Chair of Planning Board

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

Agency Use Only (If applicable)
Project: Veterans rehab project
Date: 7/22/2024

NEG DEC

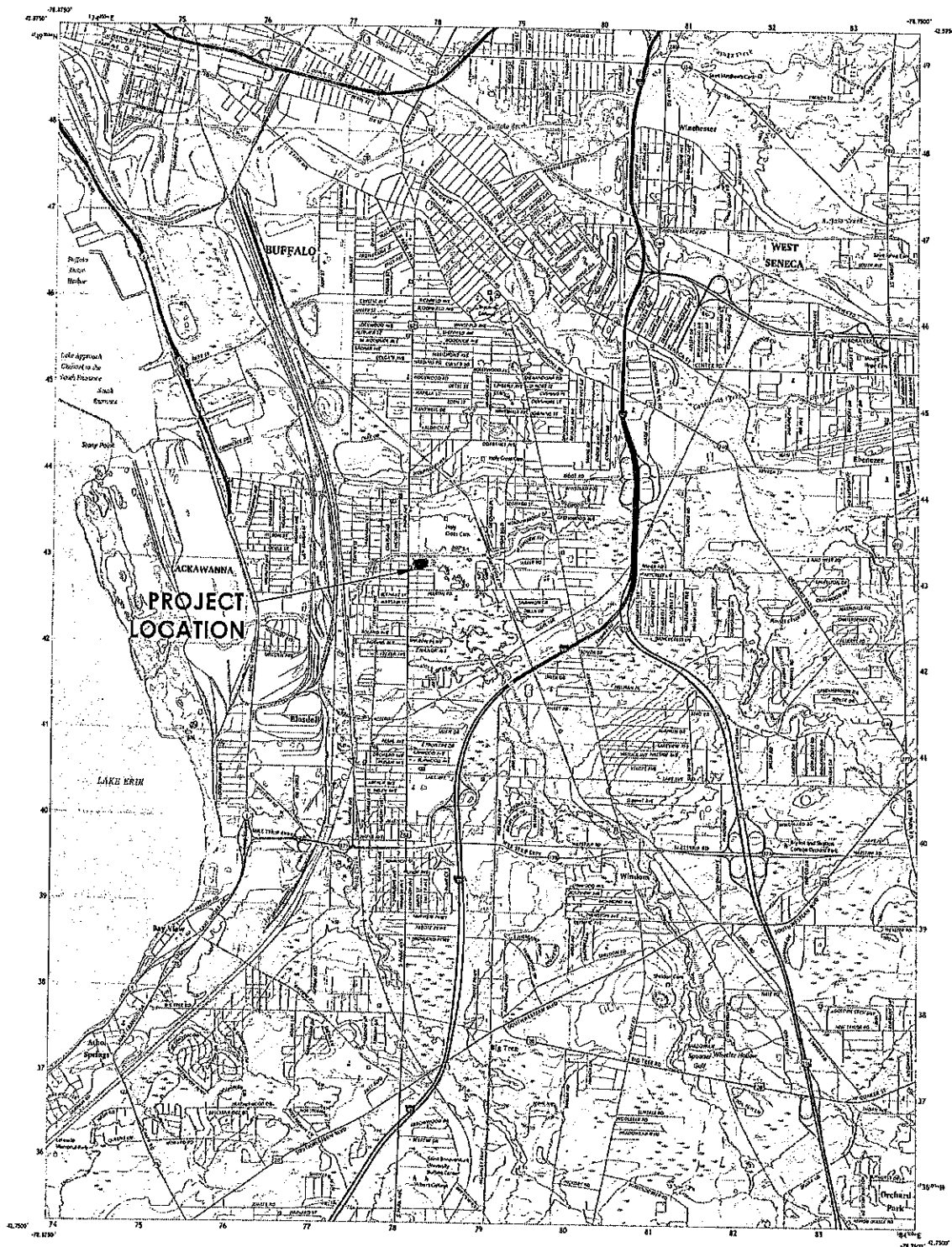
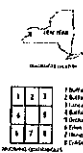
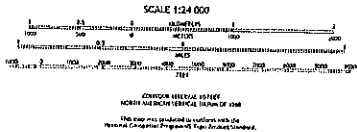
Short Environmental Assessment Form
Part 3 Determination of Significance

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
City of Lackawanna Planning Board	
Name of Lead Agency	Date
Kimberly Smith	Chair of Planning Board
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)






BUFFALO SE QUADRANGLE
NEW YORK - ERIE COUNTY
7.5-MINUTE SERIES

[illegible]

ROAD CLASSIFICATION

Expressway _____ Total Connecting _____
Stateauxiliary Freeway _____ Total Road _____
Ramp _____

 Interstate Road  US Road  State Road

BUFFALO SE, NY
2021

NEGATIVE DECLARATION REASONS FOR SUPPORTING DETERMINATION

Proposed Action:

Veterans Stadium Rehabilitation

Applicant:

City of Lackawanna

Type of Action:

Unlisted

Description of Action:

This Proposed Action involves renovations to Veterans Stadium, a municipal park in the City of Lackawanna. As part of the proposed action, a pair of 140' long x 33'-6" wide x 17' tall concrete grandstands will undergo all necessary asbestos abatement and be removed, along with asphalt pavement that surrounds the grandstand in order to provide space for additional recreational amenities. This would include the installation of a new, regulation-sized softball field with a hooded backstop and drainage system, three regulation-sized pickleball courts, an outdoor obstacle course, a prefabricated 25' x 20' bathroom building with 8 stalls, a recreational storage & equipment rental stand, and four sets of bleachers. Drainage on site is to be improved through the installation of a series of underdrains and French drains that will tie to the existing on-site drainage system. A bioretention basin will be installed in order to achieve all necessary New York State Department of Environmental Conservation storm water treatment requirements. A new sanitary lateral, water service, and electrical service are to be installed on site to support the bathrooms and the equipment rental stand. A new, 10' wide asphalt sidewalk will be installed to allow ample access to the obstacle course from the site's existing asphalt pavement.

Location of Action:

Veterans Stadium

2960 South Park Ave, Buffalo, NY 14218

Determination:

The City of Lackawanna has carefully reviewed the Environmental Assessment Form (EAF) Part 1 and Part 2 prepared for the Proposed Action, as well as criteria set forth for determining significance in 6 NYCRR 617.7 (c). Based on this information, the City of Lackawanna finds that the implementation of the Proposed Action **will not result in any significant adverse environmental impacts.**

Reasons Supporting This Determination:

617.7(c)(1)(i): *A substantial adverse change in existing air quality, ground or surface water quality or quantity, traffic or noise levels; a substantial increase in solid waste production; a substantial increase in potential for erosion, flooding leaching, or drainage problems.*

Discussion: *Air quality.* No impacts to air quality are anticipated as a result of the proposed action.

Ground or surface water quality or quantity. A SWPPP shall be prepared for this project to ensure that the proposed action will have no impact on ground or surface water quality or quantity.

Traffic or noise levels. Temporary traffic and noise impacts may occur during the length of the construction phase. Whilst it is anticipated that traffic and noise levels may slightly increase as a result of the proposed action, the impact of this is anticipated to be negligible.

Solid Waste Production. The production of solid waste that will occur as a result of the proposed action is anticipated to be of minimal impact.

Erosion, flooding, leaching, or drainage problems. Appropriate measures for soil erosion and storm water control will be incorporated into the detailed construction plans for the Proposed Action following guidelines set forth in the New York State Department of Environmental Conservation's "Standards and Specifications for Erosion & Sediment Control." The proposed action will incorporate improvements to the project site's drainage system, thus no flooding or drainage problems are anticipated to occur.

617.7(c)(1)(ii): *The removal or destruction of large quantities of vegetation or fauna; substantial interference with the movement of any resident or migratory fish or wildlife species; impacts on a significant habitat area; substantial adverse impacts on a threatened or endangered species of animal or plant, or the habitat of such a species; or other significant adverse impacts to natural resources.*

Discussion: *Removal or Destruction of Vegetation or Fauna.* No existing vegetation is proposed to be removed as part of this project

There will be no significant adverse impacts to threatened/endangered species from the Proposed Action. No loss of animal wildlife or plant habitat for threatened/endangered species is anticipated from the Proposed Action.

617.7(c)(1)(iii): *The impairment of the environmental characteristics of a Critical Environmental Area as designated pursuant to subdivision 617.14(g) of this part.*

Discussion: No Critical Environmental Areas have been designated within the identified project area.

617.7(c)(1)(iv): *The creation of a material conflict with a community's current plans or goals as officially approved or adopted.*

Discussion: The proposed project is consistent with the community's current plans to improve and develop its public, recreational spaces.

617.7(c)(1)(v): *The impairment of the character or quality of important historical, archaeological, architectural, or aesthetic resources or of existing community or neighborhood character.*

Discussion: The site of the proposed action had previously been assessed by NYS Office of Parks, Recreation and Historic Preservation (OPRHP) in 2019. According to OPRHP the project will not result in any impacts to archeological and/or historic resources. The proposed action will provide additional recreational resources to enhance the character of the neighborhood, and will only act to improve upon the park's aesthetics.

617.7(c)(1)(vi): *A major change in the use of either the quantity or type of energy.*

Discussion: The proposed action will include lighting for a 50' x 200' pavilion, a rental stand, and a new bathroom building. The total increase in electrical demand is anticipated to be minor.

617.7(c)(1)(vii) *The creation of a hazard to human health.*

Discussion: There are no significant adverse impacts to human health expected as a result of the Proposed Action.

617.7(c)(1)(viii): *A substantial change in the use, or intensity of use, of land including agricultural, open space or recreational resources, or in its capacity to support existing uses.*

Discussion: The proposed action takes place within a public park. The proposed action will see additional recreational resources will be added to the park in the form of pickleball courts and an obstacle course.

617.7(c)(1)(ix): *The encouraging or attracting of a large number of people to a place or places for more than a few days, compared to the number of people who would come to such place absent the action.*

Discussion: There are no significant attractions of large numbers of people for more than a few days expected as a result of the Proposed Action.

617.7(c)(1)(x): *The creation of a material demand for other actions that would result in one of the above consequences.*

Discussion: No additional actions, nor the creation of a material demand for other actions, were identified, nor would any be expected given the type of action.

617.7(c)(1)(xi): *Changes in two or more elements of the environment, no one of which has a significant impact on the environment, but when considered together result in a substantial adverse impact on the environment.*

Discussion: Short-term and long-term, as well as cumulative impacts of the identified actions were considered in the EAF. No significant adverse environmental impacts were identified.

617.7(c)(1)(xii): *Two or more related actions undertaken, funded or approved by an agency, none of which has or would have a significant impact on the environment, but when considered cumulatively would meet one or more of the criteria in this subdivision.*

Discussion: See discussion above (617.7(c)(1)(xi)). No significant adverse impacts have been identified.

RESOLUTION NO. _____

CLASSIFYING THE CITY OF LACKAWANNA, VETERANS STADIUM REHABILITATION IN THE CITY OF LACKAWANNA AS AN UNLISTED ACTION, ESTABLISHING LEAD AGENCY AND DETERMINING THE SIGNIFICANCE OF SUCH ACTION, AND DIRECTING THAT THE NEGATIVE DECLARATION BE PUBLISHED IN ACCORDANCE WITH SEQRA.

Councilperson _____ presented the following resolution and moved that it be adopted and it was seconded by Councilperson _____.

BE IT RESOLVED BY THE BOARD OF CITY OF LACKAWANNA AS FOLLOWS:

WHEREAS, pursuant to the requirements of the State Environmental Quality Review Act ("SEQRA"), the City Board must consider pursuant to criteria set forth in SEQRA the environmental implications of the Veterans Stadium Rehabilitation project described herein: removal of existing concrete grandstands and the surrounding asphalt pavement and installation of field in its place, replacement of the existing softball field with grass, installation of a new regulation sized softball field with a hooded backstop and drainage, installation of a recreational storage and equipment rentals stand, installation of a three regulation pickleball courts, installation of prefabricated restroom building, installation of an outdoor fitness obstacle course, installation of a new water service, installation of a new sanitary sewer lateral; and

WHEREAS, to aid the Board in determining whether such Project and financing and other actions of the Board in connection therewith (the "action") might have a significant effect on the environment, the Board caused to be prepared an environmental assessment form or similar information ("EAF"), a copy of which it attached hereto; and

WHEREAS, the Board duly reviewed the EAF and related documents with respect to the above-referenced project and duly considered the impacts which may be expected to result from the proposed action with the criteria set forth in the State Environmental Quality Review Act and the applicable regulations promulgated thereunder ("SEQRA"); and

WHEREAS, the Board determined that the project was an "Unlisted Action" pursuant to SEQRA; and

WHEREAS, the Board determined that the project involved one or more involved agencies, mandating a coordinated review; and

WHEREAS, the Board duly notified the other involved agencies pursuant to 6 NYCRR 617.6(3)(i) and indicated its willingness to be designated Lead Agency status; and

WHEREAS, all of the involved agencies have consented to the Board's request to be designated Lead Agency status;

NOW THEREFORE, BE IT RESOLVED BY THE CITY BOARD OF LACKAWANNA DECLARES TO BE LEAD AGENCY FOR THE PROJECT FOR THE PROPOSED ACTION AND THEREFORE RESPONSIBLE FOR DETERMINING WHETHER AN ENVIRONMENTAL IMPACT STATEMENT IS REQUIRED IN CONNECTION THEREWITH AND OTHERWISE COMPLYING WITH THE PROCEDURAL AND SUBSTANTIVE REQUIREMENTS OF SEQRA;

NOW THEREFORE, BE IT RESOLVED BY THE CITY BOARD OF LACKAWANNA NEW YORK AS FOLLOWS:

1. Based upon the review by the Board of the EAF and other necessary criteria, the Board hereby finds and determines that the proposed action is an "Unlisted Action" under SEQRA and will result in no significant impacts and therefore, such action is not one which "may include the potential for at least one significant adverse environmental impact," (b) "there will be no significant adverse environmental impacts," and (c) no "environmental impact statement" need be prepared, as such quoted terms are defined in SEQRA. Reasons supporting this determination are attached hereto and hereby made a part of this resolution for the purposes of SEQRA. This determination constitutes a negative declaration for purposes of SEQRA and it has been prepared in accordance with Article 8 of the Environmental Conservation Law.
2. A copy of this resolution shall be placed on file in the office of the City Clerk, where the same shall be available for public inspection during business hours and such notice of negative declaration shall be filed in such offices, posted in such places and published in such manner as shall be necessary to conform to the requirements of SEQRA.

This resolution shall take effect immediately.

Duly put to a vote as follows:

AYES

NAYS



CITY OF LACKAWANNA
OFFICE OF CODE ENFORCEMENT

714 Ridge Road – Room 311
Lackawanna, NY 14218
Tel: (716) 827-6474 Fax: (716) 827-1866



Date 4/30/25

Agenda Checklist
Zoning Board of Appeals
Planning and Development Board

Property address COCO WASSON SITE PLAN APPROVAL

Reason in front of the board ASKING FOR VARIOUS AREA VARIANCES

Special use permit needed for Zoning? Yes ☒ No ☐ Planning? Yes ☒ No ☐

Agenda Applicant MT. OLIVE / PETER J SORGI ESQ

Agenda item DAYCARE, FIELDHOUSE AND 3 STORY 30 UNIT SENIOR APTS.

Zone MIXED RESIDENTIAL

Use variance needed? Yes / No

Description of use variance (not allowed in that zone)

Area variance needed? Yes ☒ No ☐

Description of area variances needed (Parking/ height ect...) VARIOUS VARIANCES
SEE ATTACHED.

Description of agenda use? DAYCARE, FIELDHOUSE AND 3 STORY 30
UNIT SENIOR APARTMENTS AND MIXED USE
BUILDING

Code enforcement research (attached if applicable) YES

Legal opinion/ research (attached if applicable) NO

Scott Hayes
Code Enforcement Officer



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

714 Ridge Road – Room 309
Lackawanna, NY 14218
Tel: (716) 827-6421 Fax: (716) 827-1866



APPLICATION
TO THE CITY OF LACKAWANNA
PLANNING AND DEVELOPMENT BOARD

Date: 4.11.2025

Application No. _____

Site Plan Review

Filing Fee \$10.00

<input type="checkbox"/> Less than 0.5 acres	\$ 50.00
<input type="checkbox"/> 0.5 to 1.0 acres	\$ 200.00
<input type="checkbox"/> 1.0 to 2.0 acres	\$ 400.00
<input type="checkbox"/> 2.0 to 5.0 acres	\$ 400.00
<input type="checkbox"/> Greater than 5 acres	
\$ 400.00 plus \$100.00 per acres	\$ 410.00

<input type="checkbox"/> Special Use Permit	\$ 500.00
<input checked="" type="checkbox"/> Development Plan Review	\$ 50.00

Property Address: 66 Wasson Avenue and contiguous properties, City of Lackawanna

S.B.L. No. 141.43-2-41

Description of Proposed Project: See attached letter of Peter J. Sorgi, Esq.,
Project Attorney, at Exhibit A.

Director of Development

APPLICATION IS HEREBY MADE to the City of Lackawanna Planning and Development Board for a site plan review, special use permit, development plan review or subdivision review as required by the Municipal Code of the City of Lackawanna. The applicant hereby agrees to comply with all applicable laws, rules, ordinances and regulations.

Mt. Olive Missionary Baptist Church of Lackawanna
by Peter J. Sorgi, Esq., Project Attorney

Name of Applicant

66 Wasson Avenue,
Lackawanna, NY 14218

Address of Applicant

psorgi@hsmlegal.com

Applicant's Email

Signature of Applicant

716.805.7191

(Peter J. Sorgi, Esq., Project Attorney)

Applicant Phone No.

Owner, by Project Attorney

Role of Applicant to Project

(owner, attorney, lessee, agent,
architect, engineer, contractor...)

Property Owner:

NAME: Mt. Olive Missionary Baptist Church of Lackawanna

Address: 66 Wasson Avenue

Lackawanna, NY 14218

Director of Development

Exhibit A

Description of Proposed Project



April 11, 2025

City of Lackawanna Planning and Development Board
714 Ridge Road
Lackawanna, New York 14218

Re: Development Plan Review

Real Property: 66 Wasson Avenue and contiguous properties, City of Lackawanna

Owner/Applicant: Mt. Olive Missionary Baptist Church of Lackawanna

Dear City of Lackawanna Planning and Development Board:

Our firm represents Mt. Olive Missionary Baptist Church of Lackawanna ("Mt. Olive"), the Applicant and Owner regarding the above-referenced project. This letter shall constitute the "Description of Proposed Project" as set forth on the Application to the City of Lackawanna Planning and Development Board.

This Project is a mixed-use redevelopment of numerous parcels contiguous to the existing Mt. Olive Church located at 66 Wasson Avenue (the "Project Site") containing approximately 2.25 acres and consists of the construction of:

1. A proposed 3-story mixed-use building containing approximately 30,927 square feet with a proposed coffee shop and laundromat on part of the first floor and residential apartments on part of the first floor and on the second and third floors;
2. A proposed 3-story mixed-use building containing approximately 28,683 square feet with senior apartments;
3. A Field House / Athletic Center containing approximately 6,946 square feet;
4. A Child-Care Center containing approximately 2,968 square feet which will be an addition to the existing church; and
5. 89 parking spaces and related site infrastructure.

The Project Site is zoned Mixed Residential and the proposed uses are all expressly permitted uses as specifically named in Section 320-11(B) of the City Zoning Code or constitute "Essential public services where no other site is available" per Section 320-11(B)(19) of the City Zoning Code.

HOPKINS SORGI & MCCARTHY PLLC

Attorneys at Law

574 Main Street, Suite 204 • East Aurora, New York 14052

Office: 716-805-7191 Ext 2 • Mobile: 716-908-3289 • E-Mail: psorgi@hsmlegal.com
hsmlegal.com

Development Plan Review

Real Property: 66 Wasson Avenue and contiguous properties, City of Lackawanna

Owner/Applicant: Mt. Olive Missionary Baptist Church of Lackawanna

April 11, 2025

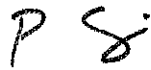
Attached please find:

- Exhibit B: Site Plan and Related Engineering Plans
- Exhibit C: Architectural Plans
- Exhibit D: Environmental Assessment Form (note that this is an "Unlisted Action" pursuant to the New York State Environmental Quality Review Act.)

Thank you for your consideration of our application. Please contact me with any questions or if any further information is required.

Sincerely,

HOPKINS SORGI & MCCARTHY PLLC



Peter J. Sorgi, Esq.

Enc.

Exhibit B

Site Plan and Related Engineering Plans

Mt. Olive Missionary Baptist Church

66 Wasson Avenue

City of Lackawanna, New York 14218

SITE DEVELOPMENT DRAWINGS



AGENCIES

CITY OF LACKAWANNA

NAME/TITLE: CHARLES D. CLARK
COMPANY/DEPT: CITY OF LACKAWANNA DIRECTOR OF DEVELOPMENT
ADDRESS: 714 RIDGE ROAD
LACKAWANNA, NY 14218
TELEPHONE: 716 827-6475

CODE ENFORCEMENT

NAME/TITLE: SCOTT HAYES
COMPANY/DEPT: CODE ENFORCEMENT OFFICER
ADDRESS: 714 RIDGE ROAD
LACKAWANNA, NY 14218
TELEPHONE: 716-827-6427

LAND SURVEYOR

COMPANY/DEPT: GPI, LLP
ADDRESS: 4950 GENESEE ST, SUITE 100
BUFFALO, NEW YORK 14224
TELEPHONE: 716-633-4844

UTILITIES

NATURAL GAS
COMPANY: NATIONAL FUEL GAS
TELEPHONE: 1-716-686-6123

ELECTRIC
COMPANY: NATIONAL GRID
TELEPHONE: 1-800-642-4272

CABLE
COMPANY: CHARTER SPECTRUM
TELEPHONE: 1-888-406-7063

WATER
COMPANY: ERIE COUNTY WATER AUTHORITY
TELEPHONE: 1-716-684-0900

SEWER
COMPANY: ERIE COUNTY SEWER DISTRICT NO. 6
TELEPHONE: 1-716-858-6202

TELEPHONE COMPANY: VERIZON COMMUNICATIONS INC.
TELEPHONE: 1-716-840-8688

UNDERGROUND FACILITIES PROTECTION ORGANIZATION
COMPANY: DIG SAFELY NEW YORK
TELEPHONE: 811

OWNER/DEVELOPER

NAME: MT. OLIVE BAPTIST CHURCH
CONTACT: PASTOR KEITH MOBLEY
ADDRESS: 66 WASSON AVENUE
LACKAWANNA, NY 14218
TELEPHONE: 716-822-6099

CARMINAWOOD DESIGN

80 Silo City Row, Suite 100
Buffalo, New York 14203
Phone: (716) 842-3165

111 Bain Street, Suite 332
Greensboro, North Carolina 27406
Phone: (336) 937-9009

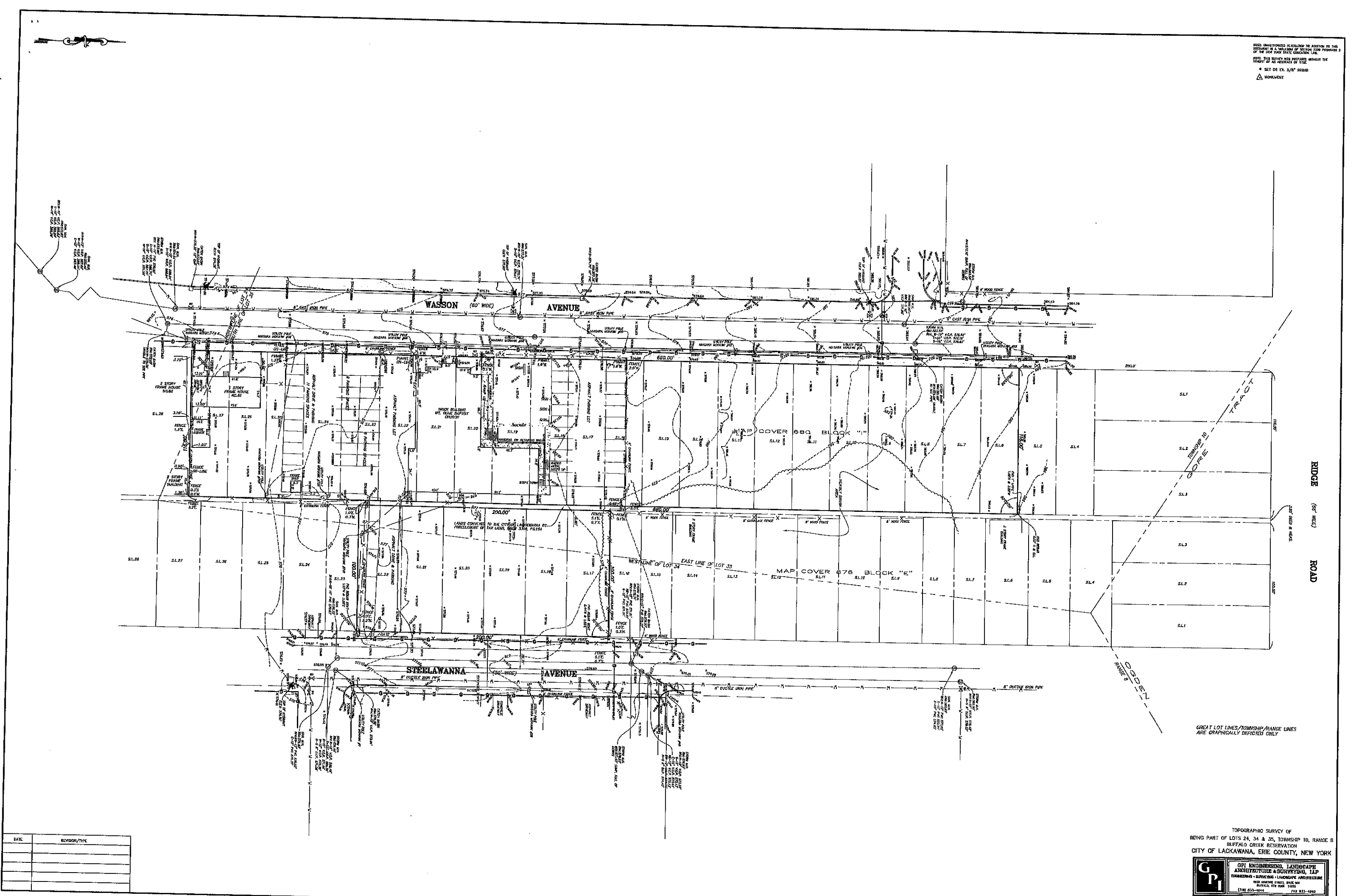
DWG NO.	DRAWING TITLE
—	COVER SHEET
—	TOPOGRAPHIC SURVEY (GPI, LLP)
C-001	DEMOLITION & EROSION CONTROL PLAN
C-002	DEMOLITION & EROSION CONTROL DETAILS
C-100	SITE PLAN
C-101	SITE DETAILS
C-200	GRADING PLAN
C-300	STORM DRAINAGE PLAN
C-301	STORM DRAINAGE DETAILS
C-302	STORM DRAINAGE DETAILS
C-400	UTILITY PLAN
C-401	UTILITY DETAILS
C-402	UTILITY DETAILS
C-403	UTILITY DETAILS
C-500	SITE LIGHTING PLAN
L-100	LANDSCAPE PLAN
T-100	TRUCK TURN PLAN

March 2025

REVISIONS:
No. Description Date

Mt. Olive Missionary Baptist Church
66 Wasson Avenue
City of Lackawanna, New York 14218
SITE DEVELOPMENT DRAWINGS

THIS UNAUTHORIZED ALTERATION OF SECTION 10 THIS DOCUMENT IS A VIOLATION OF SECTION 1700 PARAGRAPH 2 OF THE NEW YORK STATE EDUCATION LAW
THIS SURVEY WAS PREPARED WITHOUT THE ASSISTANCE OF TIME
• SET OR EX. 5/8" REBAR
▲ MONUMENT



GREAT LOT LINES/TOWNSHIP/RANGE LINES ARE GRAPHICALLY DEPICTED ONLY

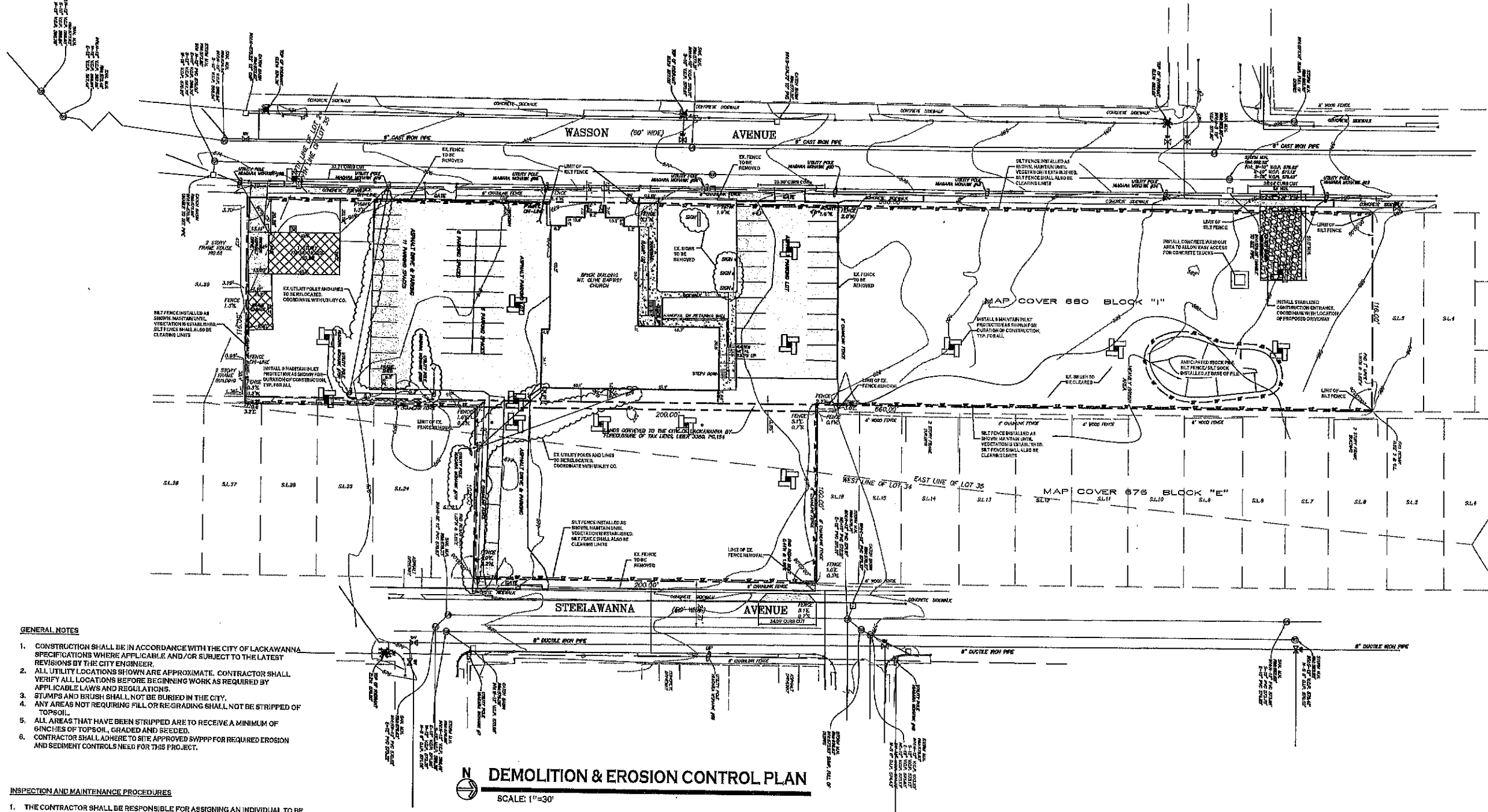
DATE	REVISION/TITLE

TOPOGRAPHIC SURVEY OF
BEING PART OF LOTS 24, 34 & 35, TOWNSHIP 10, RANGE 6
BUFFALO CREEK RESERVATION
CITY OF LACKAWANNA, ERIE COUNTY, NEW YORK

CP

CP ENGINEERING, LANDSCAPE
ARCHITECTURE & SURVEYING, LLP
ENGINEERING - SURVEYING - LANDSCAPE ARCHITECTURE
9128 SENECA STREET, SUITE 100
BUFFALO, NY 14225
(716) 833-6644 FAX 833-6649

Job No. 7252-2 Date: SEPTEMBER 9, 2020
Scale: 1" = 30' Tax No. AS NOTED



GENERAL NOTES

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LACKAWANNA SPECIFICATIONS WHERE APPLICABLE AND/OR SUBJECT TO THE LATEST REVISIONS BY THE CITY ENGINEER.
- ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL LOCATIONS BEFORE BEGINNING WORK AS REQUIRED BY APPLICABLE LAWS AND REGULATIONS.
- STUMPS AND BRUSH SHALL NOT BE BURIED IN THE CITY.
- ANY AREAS NOT REQUIRING FILL OR REGRADING SHALL NOT BE STRIPPED OF TOPSOIL.
- ALL AREAS THAT HAVE BEEN STRIPPED ARE TO RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL, GRADED AND SEEDED.
- CONTRACTOR SHALL ADHERE TO SITE APPROVED SWPPP FOR REQUIRED EROSION AND SEDIMENT CONTROLS NEED FOR THIS PROJECT.

INSPECTION AND MAINTENANCE PROCEDURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSIGNING AN INDIVIDUAL TO BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES. THE WORK MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:
 - ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDER DAYS.
 - ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. AS DEEMED NECESSARY BY THE CITY AND ENGINEER, REPAIRS SHALL BE COMPLETED WITHIN 24 HOURS OF BEING REPORTED.
 - CHECK AND REPAIR SILT FENCING AND STRAW BALE BARRIERS, AS NECESSARY.
 - TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH AND REPAIRED AS NECESSARY.
 - NEIGHBORING ROADWAYS WILL BE MONITORED TO ENSURE THAT ANY TRACKED MUD, DIRT, OR ROCK IS SWEEP AS NECESSARY.

RESTORATION NOTES

- THE ADJACENT AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION MUST BE RESTORED IN KIND TO THE SATISFACTION OF THE OWNER.
- WHEN RESTORING LAWN AREAS ADJACENT TO NEW CONSTRUCTION, ON-SITE MATERIAL MAY BE USED TO BACKFILL THE AREA WITHIN SIX INCHES OF THE FINISHED SURFACE. ON-SITE MATERIAL SHALL BE THOROUGHLY COMPACTED AND FREE OF GRASS CLUMPS, TREE ROOTS, PIECES OF ASPHALT AND OTHER EXTRANEOUS MATERIALS, AND STONES LARGER THAN 1 INCH IN SIZE.
- ALL DISTURBED UNSURFACED AREAS SHALL RECEIVE FOUR INCHES OF TOPSOIL, SEED AND MULCH AND SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- WHEN ADJACENT ASPHALT, CONCRETE OR PAVING STONE AREAS ARE DISTURBED AS PART OF THE CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO REPLACE THE DAMAGED OR EXCAVATED AREA. THE PERIMETER OF THE DISTURBED AREA SHALL BE SAW CUT FULL DEPTH, SO THAT ALL LINES ARE STRAIGHT AND TRUE. PAVING STONES SHALL BE REPLACED IN WHOLE UNITS ONLY, AND ALL REPLACEMENT PAVING STONES ARE TO MATCH THE EXISTING ONES IN SIZE, SHAPE AND COLOR. ASPHALT SHALL BE COMPACTED TO A SMOOTH FINISH AND SHALL BE FLUSH WITH THE EXISTING ADJACENT AREA THAT IS TO REMAIN.

SEQUENCE OF MAJOR ACTIVITIES

THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING THE FOLLOWING EROSION CONTROL AND STORM WATER MANAGEMENT CONTROL MEASURES. THE CONTRACTOR MAY DESIGNATE THESE TASKS TO CERTAIN SUBCONTRACTORS AS HE SEES FIT, BUT THE ULTIMATE RESPONSIBILITY FOR IMPLEMENTING THESE CONTROLS AND ENSURING THEIR PROPER FUNCTIONING REMAINS WITH THE CONTRACTOR. THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

- CONSTRUCT TEMPORARY CONSTRUCTION EXIT AT LOCATION SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN SHEET.
- INSTALL PERIMETER SILT FENCES IN THE LOCATIONS SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN SHEET.
- CLEAR & GRUB SITE.
- W/A
- COMMENCE SITE GRADING.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED AND WATERED.
- CONSTRUCTION OF BUILDING.
- INSTALLATION OF PROPOSED UTILITIES.
- FINALIZE PAVEMENT SUBGRADE PREPARATION.
- CONSTRUCT ALL CURB, DRAINAGE INLETS, STORM SEWER PIPES AND STORM SEWER MANHOLES, AS SHOWN ON THE PLANS. INSTALL TEMPORARY INLET PROTECTION AT THE LOCATIONS OF ALL NEW INLETS.
- DUST CONTROL.
- REMOVE INLET PROTECTION AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
- INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT.
- CARRY OUT FINAL GRADING AND SEEDING AND PLANTING.
- CLEAN STORM SYSTEM FOLLOWING CONSTRUCTION.
- REMOVE SILT FENCING ONLY AFTER ALL PAVING IS COMPLETE AND EXPOSED SURFACES ARE STABILIZED.
- REMOVE TEMPORARY CONSTRUCTION EXITS ONLY PRIOR TO PAVEMENT CONSTRUCTION IN THESE AREAS.

EROSION CONTROL PLAN

THE FOLLOWING EROSION CONTROL PROCEDURE SHALL BE ADHERED TO BY THE CONTRACTOR:

- INSTALL TEMPORARY SILT FENCE BARRIERS AS DIRECTED BY THE OWNER AND AT ALL EXISTING STORMWATER CATCH BASINS WITHIN THE WORK AREA TO PREVENT SEDIMENT MIGRATION. ALL SILT FENCE BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS.
- THE TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR REUSE AS DIRECTED BY THE OWNER. ALL LOCAL ORDINANCES REGARDING THE SALE OF TOPSOIL MUST BE FOLLOWED. TOPSOIL MAY NOT BE REMOVED WITHOUT A PERMIT.
- ALL SILT FENCE BARRIERS SHALL BE REPLACED WHEREVER THEY BECOME CLOGGED OR INOPERABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
- THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION. DURING EARTHWORK OPERATIONS, WATER SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND WATER SPREAD AS NECESSARY AND AS DIRECTED BY THE OWNER IN ORDER TO CONTROL DUST.
- DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTOR ON A DAILY BASIS.
- ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSIDE STORM SEWERS, DITCHES, AND CULVERTS. SILT BUILDUP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSIDE CULVERTS BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE CITY.
- ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE NEW SLOPES ARE STABILIZED WITH SEEDING AND/OR SLOPE PROTECTION, AS DIRECTED BY THE ENGINEER.
- INSTALL TEMPORARY SILT FENCE AROUND THE BASE OF STOCKPILES.

NOTES:

- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT THOSE ITEMS TO REMAIN, SUCH AS TREES, PROPERTY CORNER PINS, UTILITY POLES, VALVES, HYDRANTS, CURBS, MANHOLES AND CATCH BASINS.
- TEMPORARY SILT FENCE AND STRAW BALE TO BE INSTALLED AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE. MAINTAIN UNTIL VEGETATION IS ESTABLISHED AND PAVEMENT IS INSTALLED.
- FOR THOSE STRUCTURES TO BE DEMOLISHED, ALL EXISTING UTILITY SERVICES SHALL BE ABANDONED IN ACCORDANCE WITH LOCAL REGULATIONS. ALL METERS SHALL BE RETURNED TO PROPER OWNERS.
- THE CONTRACTOR SHALL INSTALL STABILIZED CONSTRUCTION ENTRANCES WHERE ACCESSING THE SITE FROM PAVED ROADWAYS.
- THE CONTRACTOR SHALL INSTALL TEMPORARY TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH NYS M.U.T.C.D. STANDARDS PRIOR TO STARTING WORK.
- ADD SILT SOCKS TO ALL CATCH BASINS. CATCH BASINS ARE TO RECEIVE REGULAR MAINTENANCE THROUGHOUT THE ENTIRE PROJECT.
- COVERED DUMPSTERS SHALL BE PROVIDED ON-SITE AS REQUIRED FOR CONSTRUCTION WASTE.
- SILT SOCK (COMPOST FILTER SOCK) CAN BE USED AS AN ACCEPTABLE SUBSTITUTE FOR SILT FENCE PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. BOTH SILT SOCKS AND FENCE CAN BE USED WHERE EROSION WILL OCCUR IN THE FORM OF SHEET EROSION WITH NO CONCENTRATION OF WATER FLOWING TO THE BARRIER. BOTH PRACTICES CAN BE UTILIZED AT THE PERIMETER OF THE SITE.

DEMOLITION & EROSION CONTROL LEGEND

APPROXIMATE LIMITS OF EXISTING BUILDING FOUNDATION, WALL, SLAB, SUPERSTRUCTURE, ETC. TO BE REMOVED

APPROXIMATE LIMITS OF IMPERVIOUS & PERVIOUS SURFACES TO BE CLEARED/REMOVED, ABOVE & BELOW GROUND. AMENITIES WITHIN LIMITS TO BE REMOVED UNLESS NOTED OTHERWISE

INSTALL SILT FENCE

INSTALL STORM DRAINAGE INLET PROTECTION

EXISTING TREE TO BE REMOVED

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

30' 0 30' 60'

REVISIONS: No. Description Date

PROJECT NAME:

Site Development Plans for:

Mt. Olive Missionary Baptist Church

66 Wasson Avenue
Lackawanna, New York 14218

DRAWING NAME:
Demolition &
Erosion Control
Plan

DRAWING NO.

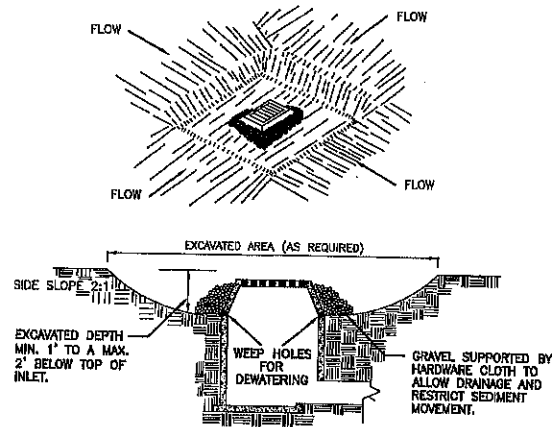
C-001

Project no.: 20.16R

CARMINA WOOD

DESIGN

Buffalo | Utica | Greensboro



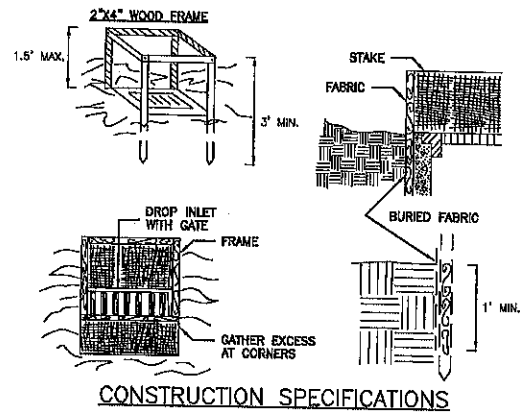
CONSTRUCTION SPECIFICATIONS

1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

MAXIMUM DRAINAGE AREA 1 ACRE

INLET PROTECTION DETAIL 1

NOT TO SCALE



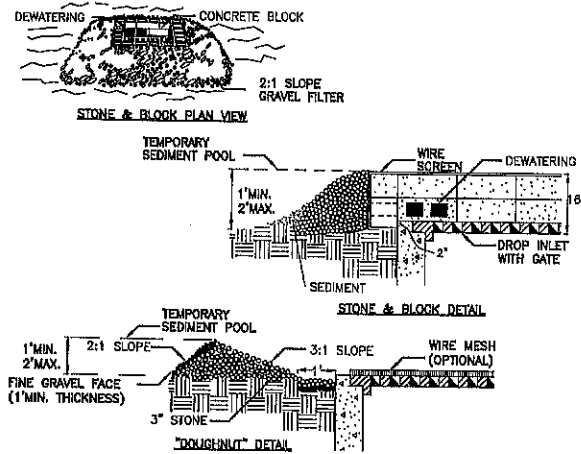
CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

INLET PROTECTION DETAIL 2

NOT TO SCALE



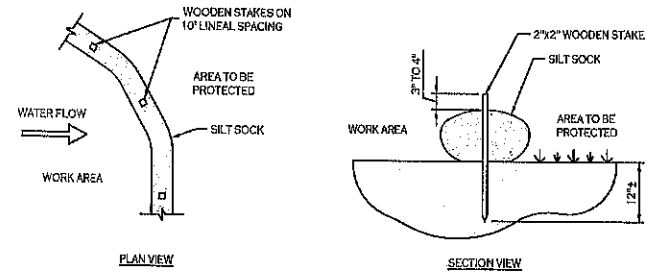
CONSTRUCTION SPECIFICATIONS

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

MAXIMUM DRAINAGE AREA 1 ACRE

INLET PROTECTION DETAIL 3

NOT TO SCALE



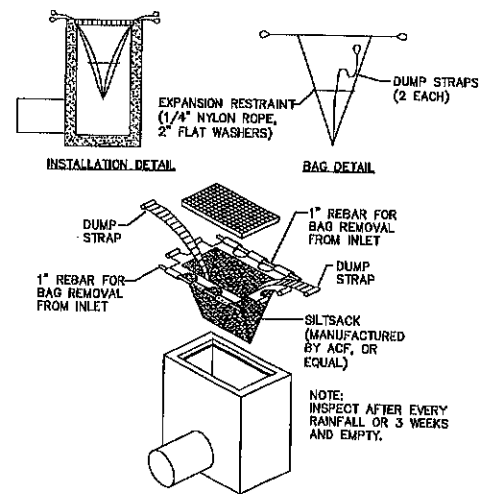
NOTES:

CONTRACTOR SHALL INSPECT AND MAINTAIN SILT SOCK AS NEEDED DURING THE DURATION OF CONSTRUCTION PROJECT.

CONTRACTOR SHALL REMOVE SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK WHEN IT HAS REACHED 1/2 OF THE EXPOSED HEIGHT OF THE SILT SOCK. ALTERNATIVELY, RATHER THAN CREATE A SOIL DISTURBING ACTIVITY, THE ENGINEER MAY CALL FOR ADDITIONAL SILT SOCK TO BE ADDED AT AREAS OF HIGH SEDIMENTATION. PLACED IMMEDIATELY ON TOP OF THE EXISTING SEDIMENT LADEN SILT SOCK.

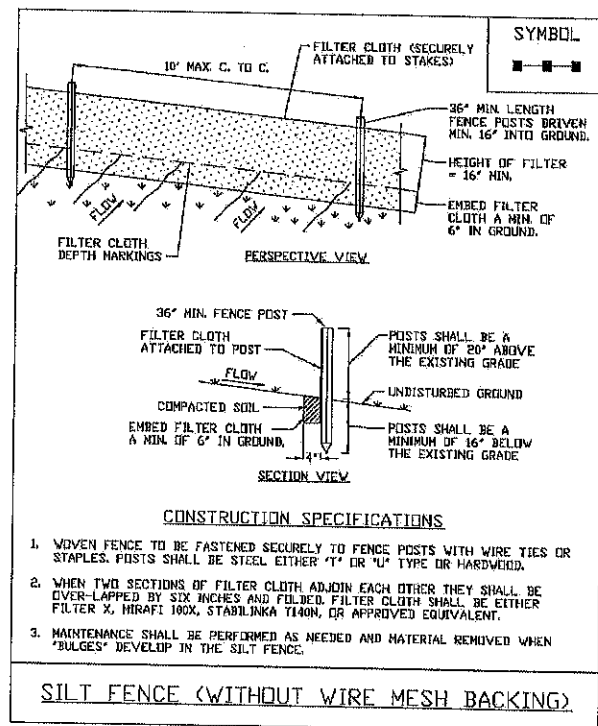
SILT SOCK DETAIL

N.T.S.



SILT SACK DETAIL

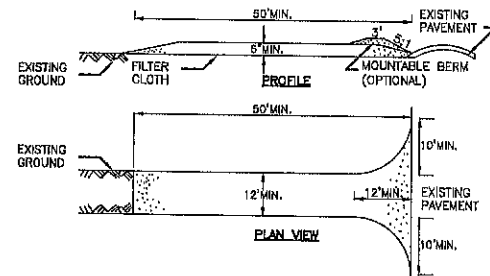
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CONSTRUCTION SPECIFICATIONS

1. WOVEN FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 'T' OR 'U' TYPE OR HARDWOOD.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FILLED. FILTER CLOTH SHALL BE EITHER FILTER X, HIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

SILT FENCE (WITHOUT WIRE MESH BACKING)

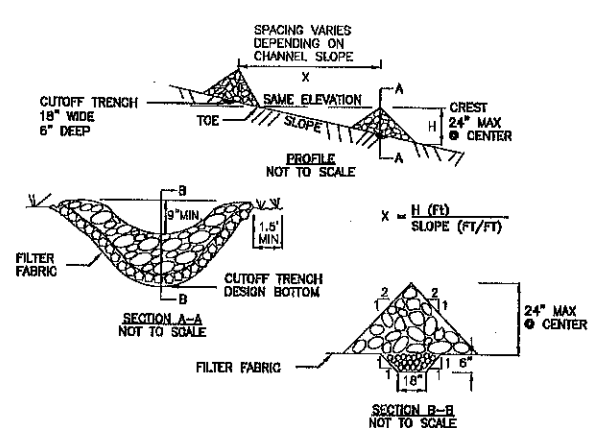


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

STONE CHECK DAM DETAIL

NOT TO SCALE

REVISIONS:
No. Description Date

PROJECT NAME:

Site Development Plans for:
Mt. Olive Missionary Baptist Church
66 Wesson Avenue
Lackawanna, New York 14218

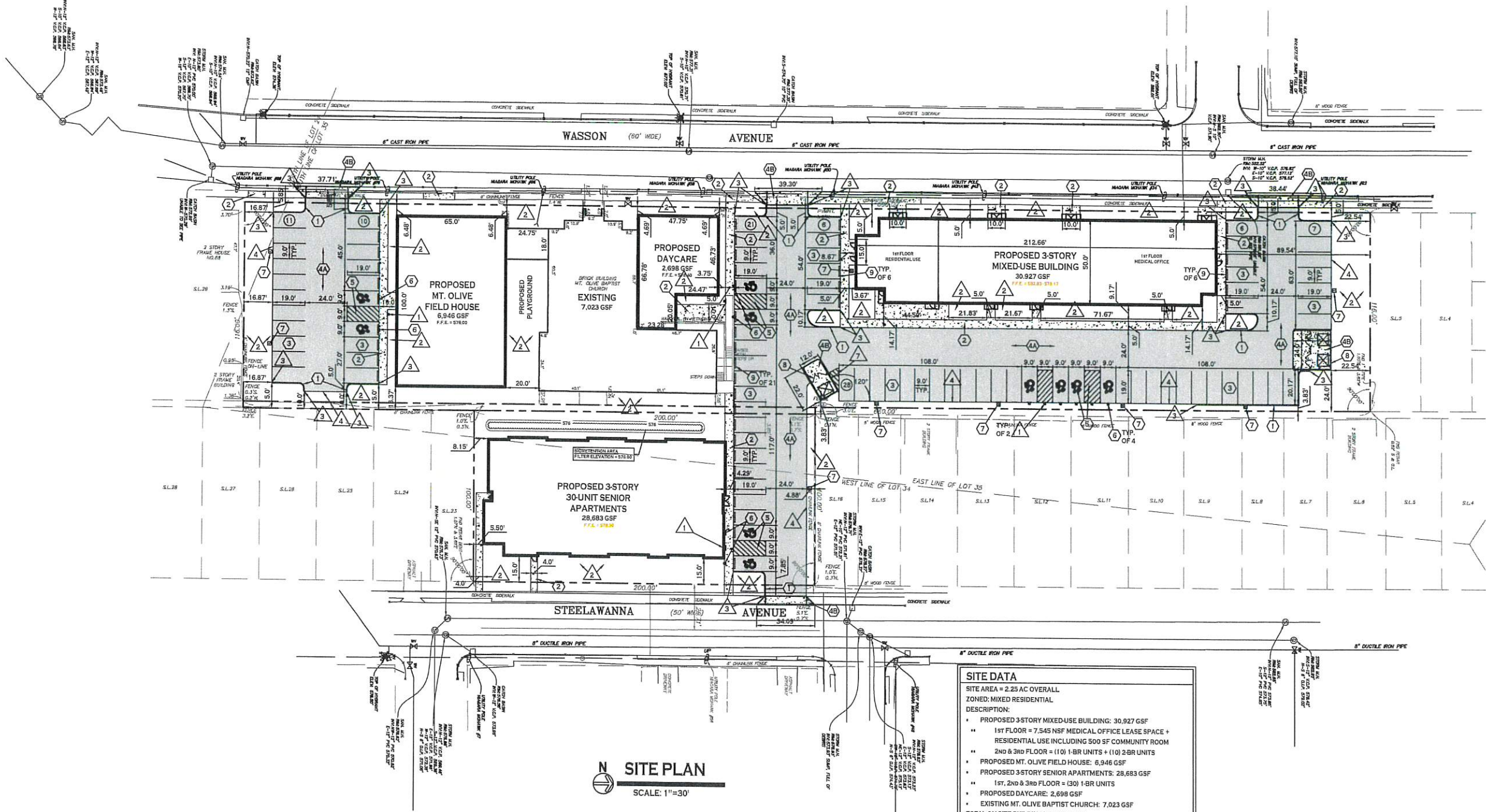
Date: 3/28/2025
Drawn by: JPB
Scale: As Noted

DRAWING NAME:
Demolition & Erosion Control Details

DRAWING NO.

C-002

Project no.: 20.186



NOTES:

1. ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
2. ALL DISTURBED AREAS SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
3. ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
4. CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
5. ALL HANDICAPPED RAMPS OR SIDEWALKS THAT ARE FLUSH SHALL HAVE ADA COMPLIANT TACTILE WARNING STRIPS WHERE ENTERING PARKING AREAS/DRIVEWAYS.
6. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
7. ALL SIDEWALKS 5' WIDE UNLESS OTHERWISE NOTED.

GENERAL NOTES:

1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. ALL OTHER PERMITS REQUIRED BY STATE OF NEW YORK, COUNTY OF ERIE, AND CITY OF LACKAWANNA ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER/OWNER.

NOTES:

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LACKAWANNA'S SPECIFICATIONS WHERE APPLICABLE.
2. FILL SHALL BE PLACED AND SATISFACTORILY COMPACTED PRIOR TO THE INSTALLATION OF WATER AND SEWER LINES (TYPICAL).
3. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL LOCATION BEFORE BEGINNING WORK AS REQUIRED BY APPLICABLE LAWS AND REGULATIONS.

DETAIL LEGEND SEE SITE DETAIL SHEET

- 1 TYPE "A" CONCRETE CURB
- 2 CONCRETE SIDEWALK, 5' WIDE UNLESS OTHERWISE NOTED
- 3 90° PARKING STALL
- 4A STANDARD DUTY ASPHALT
- 4B EXTERIOR CONCRETE SLAB ON GRADE
- 5 HANDICAP PAVEMENT MARKINGS
- 6 HANDICAPPED PARKING SIGN
- 7 LIGHT POLE FOUNDATION
- 8 DUMPSTER ENCLOSURE
- 9 PRECAST CONCRETE BUMPER

NOTE LEGEND

- 1 INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. R7-1
- 2 LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
- 3 RUNOUT CURB IN 2' OR MATCH EXISTING CURB
- 4 EDGE OF PAVEMENT
- 5 EXISTING PAVEMENT TO REMAIN, BE SEALED AND STRIPED
- 6 SAWCUT LINE, MATCH EXISTING EDGE OF PAVEMENT
- 7 4" WIDE YELLOW PAINT STRIPE @ 45° & 2' O.C., INFILL AREA AS SHOWN

SITE DATA

SITE AREA = 2.25 AC OVERALL
ZONED: MIXED RESIDENTIAL
DESCRIPTION:
• PROPOSED 3-STORY MIXED-USE BUILDING: 30,927 GSF
• 1ST FLOOR = 7,545 NSF MEDICAL OFFICE LEASE SPACE + RESIDENTIAL USE INCLUDING 500 SF COMMUNITY ROOM
• 2ND & 3RD FLOOR = (10) 1-BR UNITS + (10) 2-BR UNITS
• PROPOSED MT. OLIVE FIELD HOUSE: 6,946 GSF
• PROPOSED 3-STORY SENIOR APARTMENTS: 28,683 GSF
• 1ST, 2ND & 3RD FLOOR = (30) 1-BR UNITS
• PROPOSED DAYCARE: 2,698 GSF
• EXISTING MT. OLIVE BAPTIST CHURCH: 7,023 GSF
TOTAL ON-SITE BUILDINGS: 76,277 GSF

SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT:	25 FT	*1.76 FT EX
SIDE:	30 FT	*5.50 FT
REAR:	30 FT	*13.37 FT

SETBACKS - PARKING	REQUIRED	PROVIDED
FRONT:	25 FT	*5.0 FT
SIDE:	30 FT	*4.88 FT
REAR:	30 FT	*3.83 FT

GREENSPACE	REQUIRED	PROVIDED
MINIMUM LANDSCAPE COVERAGE:	20%	(0.54 AC) 24%

PARKING (9' x 19')
OF SPACES - SEE CALCULATION BELOW: 144 *89

MAX. BUILDING HEIGHT: 3 STORIES OR 30 FT *30 FT

MAXIMUM LOT COVERAGE: 50% *11.71 ACI 76%

MAXIMUM BUILDING COVERAGE: 35% *37%

*VARIANCE REQUIRED

REQUIRED PARKING CALCULATION:

MEDICAL OFFICES, HEALTH CLINICS: 1 PER EXAMINING ROOM PLUS 1 PER EMPLOYEE
"MEDICAL BUILDING" REQUIRED = 20 EXAM ROOMS + 10 EMPLOYEES = 30 SPACES
PUBLIC ASSEMBLY PLACES (AUDITORIUMS, GYMNASIUMS, THEATERS): 1 PER 5 SEATS OR 9 LINEAR FEET OF FIXED BENCHES
"MT OLIVE FIELD HOUSE" REQUIRED = 0 SEATS/BENCHES = 0 SPACES
RESIDENTIAL (MULTIPLE FAMILY OR APARTMENTS): 1.5 PER ONE-BEDROOM, 2.3 PER TWO-BEDROOM
"SENIOR APARTMENTS" REQUIRED = (30) 1-BR UNITS X 1.5 = 45 SPACES
"MIXED-USE BUILDING" REQUIRED = (10) 1-BR UNITS X 1.5 + (10) 2-BR UNITS X 2.3 = 38 SPACES
HOUSES OF WORSHIP: 1 PER 5 FIXED SEATS IN MAIN ASSEMBLY ROOM
"MT OLIVE CHURCH" REQUIRED = 130 SEATS / 5 SEATS = 26 SPACES
SCHOOLS (NURSERY AND PRIMARY): 1 PER EMPLOYEE
"DAYCARE" = 5 EMPLOYEES = 5 SPACES

TOTAL REQUIRED PARKING SPACES = 144 SPACES REQUIRED

SITE LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED SIGN
- PROPOSED PARKING NUMBER
- PROPOSED LIGHT POLE
- PROPOSED WALL MOUNTED LIGHT

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD MORRIS D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



REVISIONS:
No. Description Date

PROJECT NAME:

Site Development Plans for:

Mt. Olive Missionary Baptist Church

66 Wasson Avenue
Lackawanna, New York 14218

DRAWING NAME:
Site Plan

DRAWING NO.

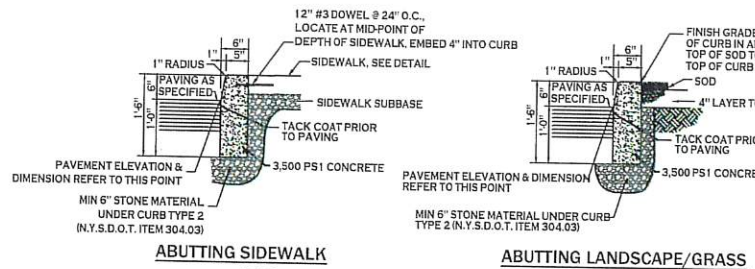
C-100

Project no.: 20,166

CARMINA WOOD

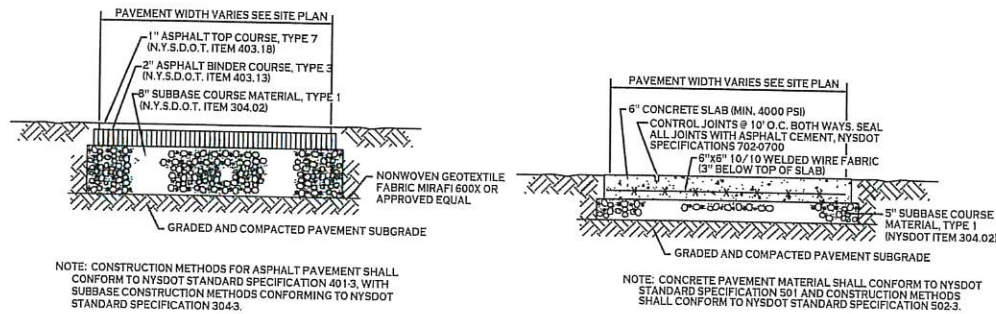
DESIGN

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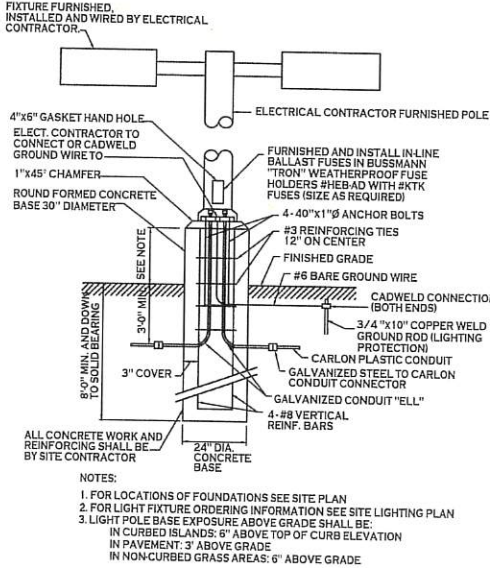


- NOTES:
- CONTROL JOINTS TO BE 2" DEEP AT 15'-0" O.C. - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSDOT 702-0700
 - WHERE THE CURB DROPS (IS FLUSH WITH ASPHALT) THE DEPTH OF CURB BELOW GRADE SHALL BE INCREASED TO 1'-6" AND OTHER DIMENSIONS ADJUSTED ACCORDINGLY

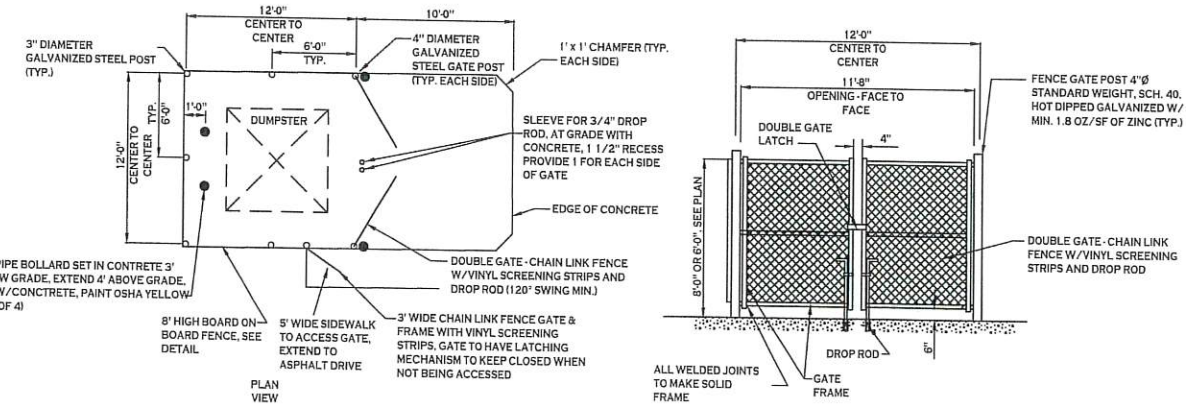
TYPE "A" CONCRETE CURB - 1



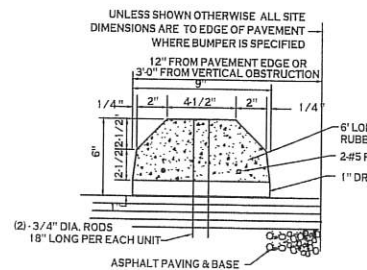
STANDARD DUTY ASPHALT SECTION - 4A



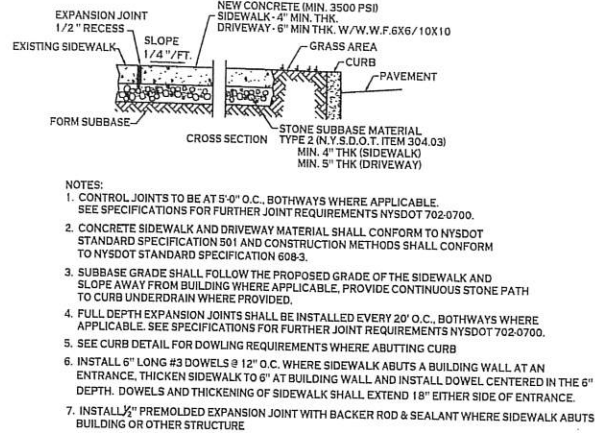
LIGHT POLE FOUNDATION - 7



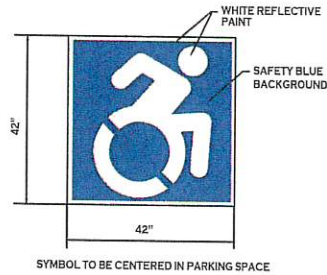
DUMPSTER ENCLOSURE - 8



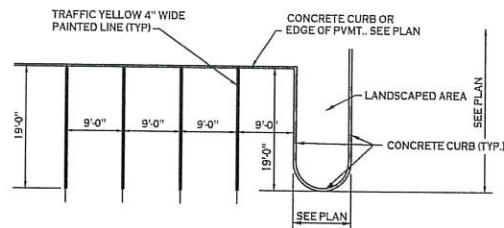
PRECAST PARKING BUMPER - 9



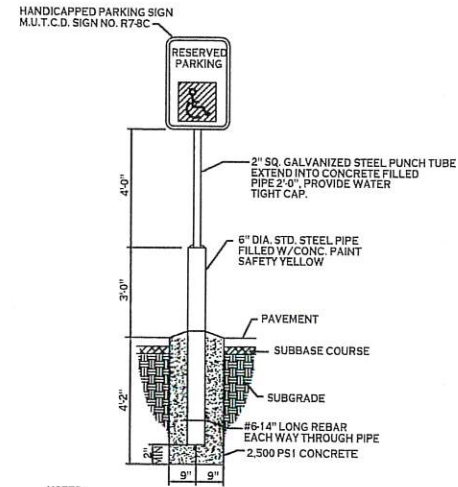
CONCRETE SIDEWALK - 2



INTERNATIONAL HANDICAP SYMBOL

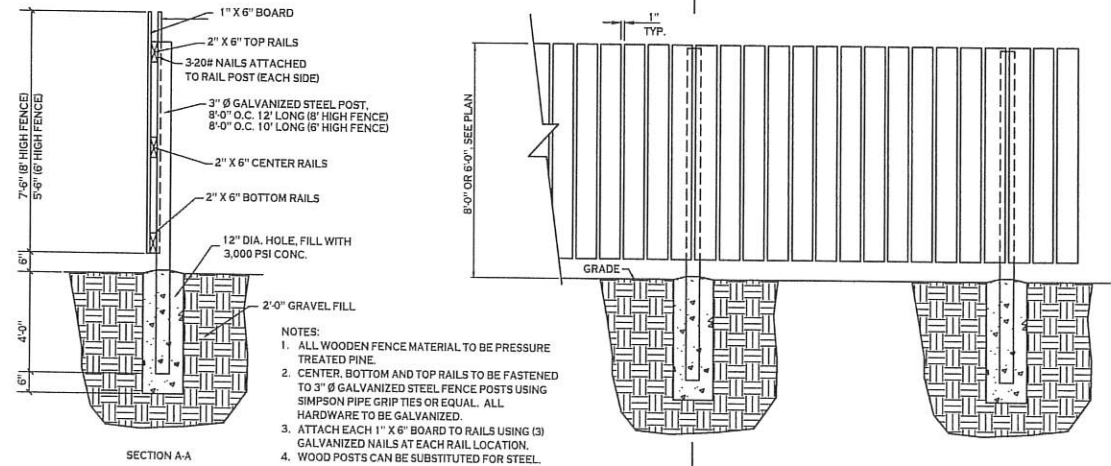


90° PARKING STALL LAYOUT - 3



HANDICAPPED PARKING SIGN - 6
INSTALLED IN PAVEMENT

- CHAIN LINK FENCE GATE NOTES:**
- GATE POST FOOTINGS TO BE MIN. 36" DEEP x (4x) POST DIAMETER, EXTEND POST TO WITHIN 6" OF BOTTOM.
 - GATE FRAMES TO BE 2" SQ. GALVANIZED STEEL, WEIGHING 2.60 LB/FT IN ACCORDANCE WITH ASTM F 900.
 - CHAIN LINK FENCE FABRIC SHALL BE 2" MESH, 9 GAUGE, ZINC COATED STEEL CORE WIRE. INSTALL MESH WITH HOOK BOLTS AND TENSION BARS ON ALL 4 SIDES, ATTACH AT 15" MAX.
 - DOUBLE GATE LATCH TO BE FORKED TYPE CAPABLE OF RETAINING GATE IN CLOSED POSITION AND HAVE PROVISION FOR PAD LOCK. LATCH SHALL BE OPERABLE FROM EITHER SIDE OF GATE.
 - ALL HARDWARE TO BE HOT DIPPED GALVANIZED STEEL TO SUIT GATE SIZE.



BOARD ON BOARD FENCE FENCE

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PROPOSED GRADING LEGEND

PROPOSED CONTOUR	— 101 —
PROPOSED SPOT ELEVATION	100.80
PROPOSED TOP/BOTTOM OF CURB ELEV.	TC 100.50 BC 100.00
PROPOSED CATCH BASIN	■ CB
PAVEMENT/GROUND SLOPE	→
PROPOSED YARD DRAIN	● YD
PROPOSED MANHOLE	● MH
PROPOSED STORM SEWER	— ST —
PROPOSED STORM W/ SELECT FILL	ST

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION
PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C.
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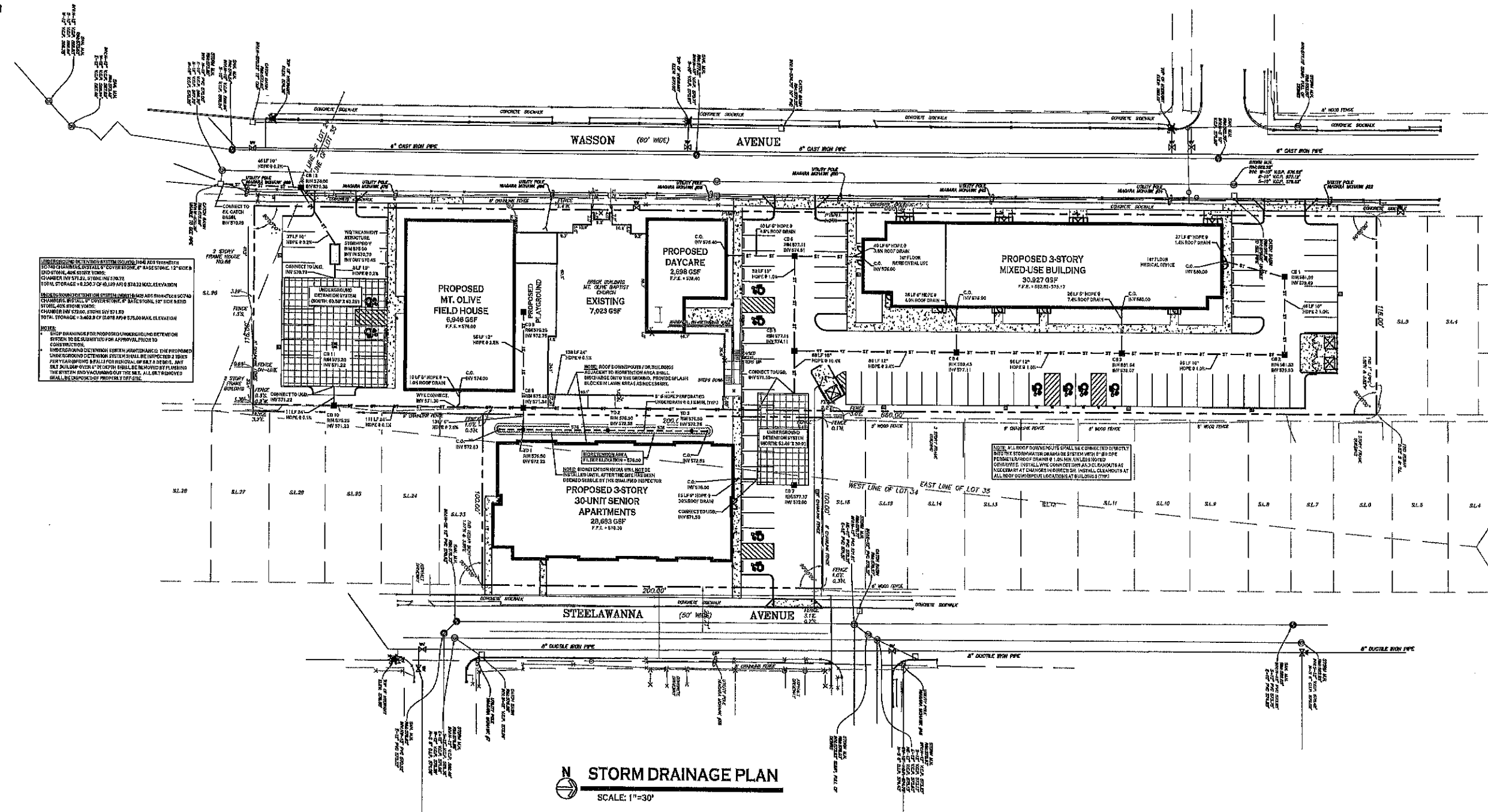
REVISIONS:		Date
No.	Description	

Buffalo | Utica | Greensboro

Date: 3/28/2025
Drawn by: JPB
Scale: As Noted

DRAWING NO.
C-200
Revised: 2010

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RUNOFF ANALYSIS:		
STORM EVENT	EXISTING RUNOFF	PROPOSED RUNOFF
1 YEAR	1.59 CFS	1.55 CFS @ 571.86
10 YEAR	4.10 CFS	3.22 CFS @ 572.64
25 YEAR	5.21 CFS	3.69 CFS @ 573.11
100 YEAR	7.40 CFS	5.16 CFS @ 575.00

WATER QUALITY SUMMARY:		
WQV REQUIRED = 2,369 CF (0.034 ACFT)		
RRV MIN. REQUIRED = 159 CF (0.004 ACFT)		
RRV PROVIDED WITHIN BIORETENTION AREA = 383 CF (0.009 ACFT)		
WQV PROVIDED WITHIN BIORETENTION AREA = 957 CF (0.022 ACFT)		
WQV PROVIDED BY TREATMENT STRUCTURE = 1,412 CF (0.032 ACFT)		
TOTAL WQV PROVIDED = 2,369 CF (0.034 ACFT)		

BIORETENTION FILTER AREA & ELEVATION SUMMARY:		
FILTER AREA = 870 SF @ 576.00		

PROPOSED UTILITY LEGEND	
PROPOSED STORM SEWER	— ST —
PROPOSED SANITARY SEWER	— 6" SA —
PROPOSED WATERLINE	— 1" W —
PROPOSED GAS (G), ELECTRIC (E), CABLE (C), & TELEPHONE (T)	— — —
PROPOSED CATCH BASIN	■ CB
PROPOSED YARD DRAIN	● YD
PROPOSED MANHOLE	● MH
PROPOSED HYDRANT ASSEMBLY	■ HA
PROPOSED GATE VALVE	⊗ GV

NOTE: FOR PROPOSED VALVE BOXES, CLEANOUTS, ETC., INSTALL A 3000 PSI CONCRETE COLLAR AROUND THE ITEM AT GRADE. THE COLLAR SHALL BE A MIN. OF 6" WIDER, ON ALL SIDES, THAN THE BOX, CLEANOUT, ETC. THE COLLAR SHALL BE A MIN. OF 6" THICK.

REVISIONS:	
No.	Description

PROJECT NAME:
Site Development Plans for:
Mt. Olive Baptist Church
66 Wason Avenue
Lackawanna, New York 14218

DATE:
3/28/2025
DRAWN BY:
JPB
SCALE:
As Noted

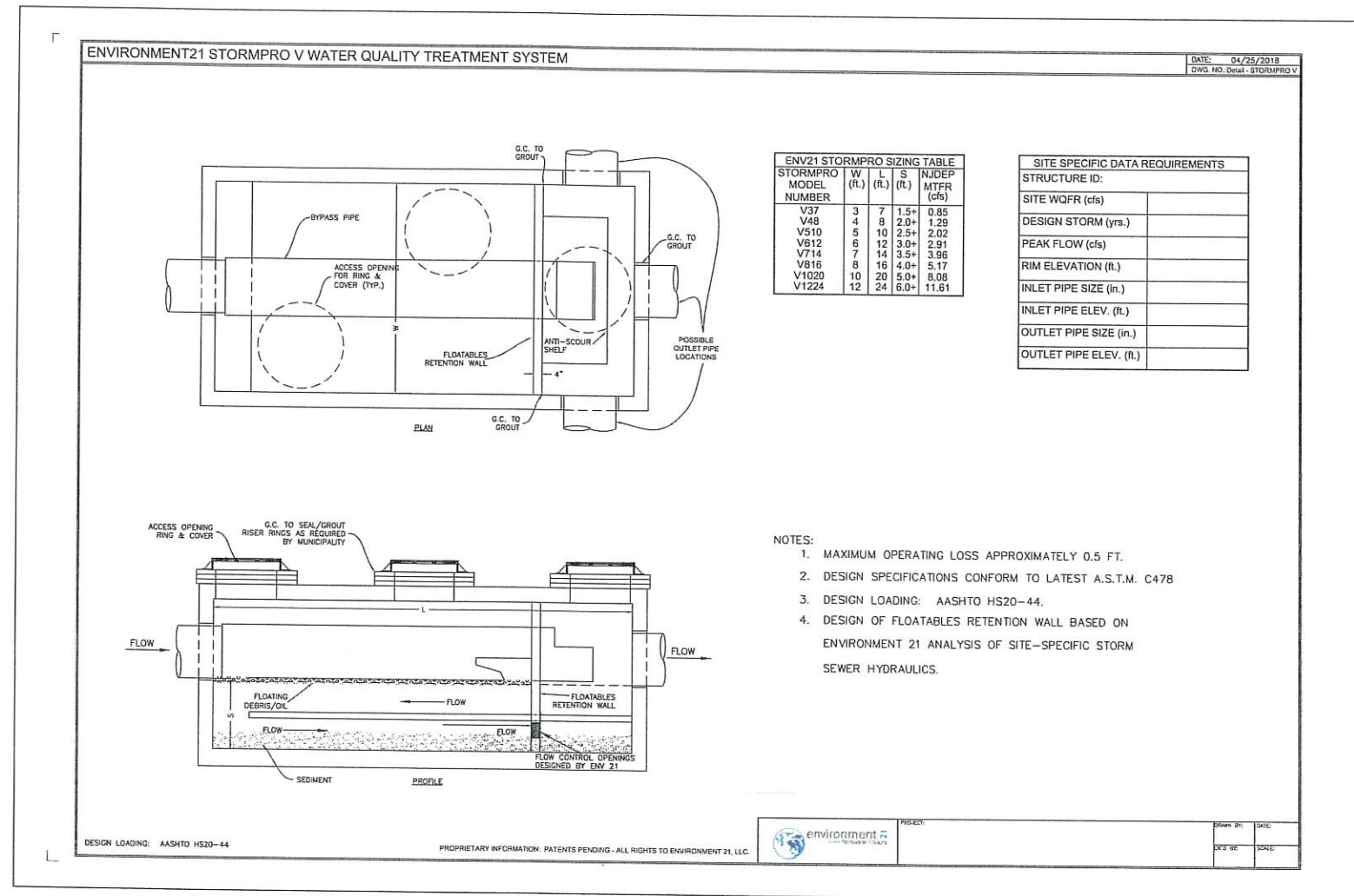
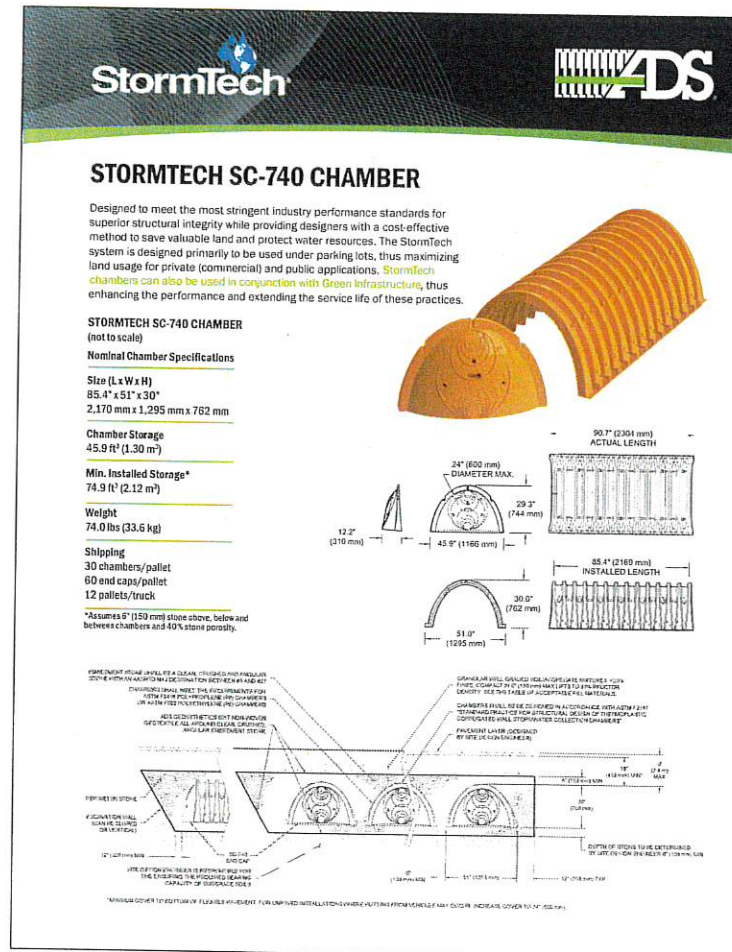
DRAWING NAME:
Storm Drainage
Plan

DRAWING NO.
C-300
Project no.: 20,166

CARMINA WOOD
DESIGN

Buffalo | Utica | Greensboro

Project no.: 20.166



WARNING: It is violation of article 145 of the Professional Code of Engineers and Surveyors to practice as a professional engineer or land surveyor without a specific declaration of the situation.



- A. "THE CONTRACTOR IS ADVISED THAT A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS."
- B. "ANY CONTRACTOR AND/OR PUBLISHER PERFORMING WORK IN A CONFINED SPACE (I.E. MANHOLES, WETWELLS, CHAMBERS) OWNED BY AN ERIE COUNTY SEWER DISTRICT, MUST CERTIFY TO THE COUNTY THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC."
- C. "CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS FOR ERIE COUNTY SEWER DISTRICTS."
- D. IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN FOUR (4) FEET OF COVER, CONCRETE ENCASEMENT IS REQUIRED. IF MORE THAN FOUR (4) FEET OF COVER IS PROVIDED IN PAVED AREAS, SELECT FILL IS REQUIRED.
- E. THE CONTRACTOR MUST NOTIFY THE DISTRICT OFFICE 24 HOURS IN ADVANCE OF CONSTRUCTION.
- F. VENTS MUST BE INSTALLED SIX (6) INCHES ABOVE GRADE, IN A GRASSY AREA WITH A MUSHROOM CAP. IF THE VENT IS IN A SIDEWALK OR PAVED AREA, PROTECT WILL BOLLARDS (3 MINIMUM).
- G. CLEANOUTS (I.C.O.) ARE REQUIRED EVERY ONE HUNDRED FEET (100') AND AT CHANGE IN DIRECTION.
- H. ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.
- I. REUSE OF EXISTING BUILDING SEWERS SHALL CONFORM TO RULES & REGULATIONS FOR ECSD, ARTICLE III. SECTION 304.
- J. NEW YORK STATE EXCAVATOR LAW: ALL EXCAVATION PERFORMED ON OR AFTER MAY 4, 2019 SHALL BE CONDUCTED BY AN EXCAVATOR OPERATOR WHO HAS COMPLETED THE TRAINING AND EDUCATION PROGRAM PROVIDED BY THE ONE-CALL NOTIFICATION SYSTEM OF ANOTHER AUTHORIZED PROVIDER PURSUANT TO NEW YORK STATE SENATE BILL S.6756A. NO EXCAVATOR OPERATOR IS PERMITTED TO PERFORM ANY EXCAVATION ON OR AFTER MAY 4, 2019 WITHOUT RECEIVING THE PROPER TRAINING AND EDUCATION PROGRAM.

1. FOR ALL SANITARY SEWERS, INSTALL SELECT FILL IN PAVED AREAS, EXTEND 5' MIN. BEYOND PAVEMENT LIMITS
2. COORDINATE GAS & ELEC. METER BANK LOCATIONS ON BUILDING WITH M.E.P. PLANS & UTILITY CO.'S.
3. COORDINATE LOCATION OF CTV & TELEPHONE SERVICE TO BUILDING WITH M.E.P. PLANS AND UTILITY CO.'S.
4. ANY EXISTING UTILITIES WHICH ARE TO BE ABANDONED AND FILL UNDER PAVEMENT OR BUILDINGS SHALL BE REMOVED VS. BEING ABANDONED UNLESS THOSE UTILITIES ARE FILLED WITH FLOWABLE FILL.
5. EXISTING GAS SERVICES SHALL REMAIN UNLESS OTHERWISE NOTED. ANY PORTIONS TO BE RELOCATED SHALL BE COORDINATED WITH NATIONAL FUEL GAS.
6. ALL UNDERGROUND TELEPHONE SERVICES SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.
7. A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCHES OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER SERVICES.
8. SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES (GAS, WATER, STORM, SANITARY) THAT CROSS THROUGH PAVEMENT AREAS.
9. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE CITY OF LACKAWANNA SPECIFICATIONS AND DETAILS, AND ERIE COUNTY DEPARTMENT DIVISION OF SEWER MANAGEMENT RULES & REGULATIONS.
10. FILL SHALL BE PLACED AND SATISFACTORILY COMPACTED PRIOR TO INSTALLATION OF UTILITIES, AND MUST BE APPROVED BY THE SUPERVISING PROJECT ENGINEER.
11. ALL WATERLINE SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ERIE COUNTY WATER AUTHORITY AND ERIE COUNTY DEPARTMENT OF HEALTH REQUIREMENTS.
12. ALL NEW WATER SERVICES TO HAVE 5'-0" MINIMUM COVER.
13. THE ERIE COUNTY WATER AUTHORITY IS TO BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO STARTING THE CONNECTION TO THE NEW WATER SERVICE.
14. ALL OTHER REQUIRED PERMITS BY THE STATE OF NEW YORK, COUNTY OF ERIE AND CITY OF LACKAWANNA ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER.



NOTE: FOR PROPOSED VALVE BOXES, CLEANOUTS, ETC., INSTALL A 3000 PSI CONCRETE COLLAR AROUND THE ITEM AT GRADE. THE COLLAR SHALL BE A MIN. OF 6" WIDER, ON ALL SIDES, THAN THE BOX, CLEANOUT, ETC. THE COLLAR SHALL BE A MIN. OF 6" THICK.

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

Number of children	Percentage of families
0	10%
1	20%
2	30%
3	25%
4	15%
5	10%
6	5%
7	3%
8	2%
9	1%
10	1%
11	1%
12	1%
13	1%
14	1%
15	1%
16	1%
17	1%
18	1%
19	1%
20	1%
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44	1%
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46	1%
47	1%
48	1%
49	1%
50	1%
51	1%
52	1%
53	1%
54	1%
55	1%
56	1%
57	1%
58	1%
59	1%
60	1%

PROJECT NAME:

Date: 3/28/2025
Drawn by: JPB
Scale: As Noted

DRAWING NAME:
Utility
Plan

DRAWING NO.

C-400

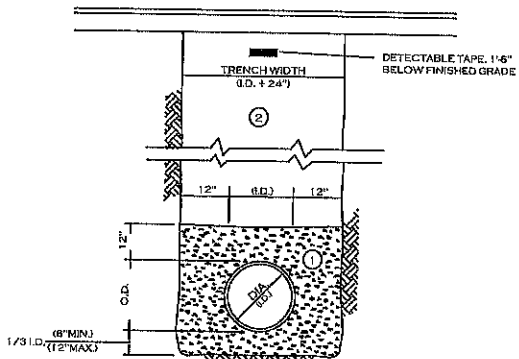
Project no.: 20.166

**CARMIN/WOOD
DESIGN**

Buffalo | Utica | Greensboro

Site Development Plans for:
Mt. Olive Missionary Baptist Church

66 Wasson Avenue
Lackawanna, New York 14218



- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

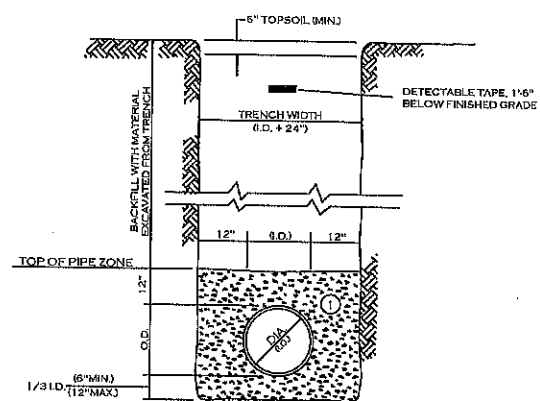
MATERIALS

PIPE BEDDING MATERIAL (NYSOT LATEST EDITION)

- NO.1 CRUSHED STONE WITH A GRADATION CONFORMING WITH NYSOT SECTION 703-02. THE CRUSHED STONE SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN 1" AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
- NO.2 RUN OF CRUSHER STONE OR NO.2 RUN OF CRUSHER GRAVEL WITH A GRADATION CONFORMING WITH NYSOT SECTION 304-2.02 TYPE 4 AND NYSOT SECTION 703-02. (COMPACTED IN 6" LIFTS TO 90% DENSITY) NOTE: SLAG SHALL NOT BE ALLOWED FOR MATERIALS ① AND ②

SELECT MATERIAL BACKFILL (NYSOT LATEST EDITION)

UTILITY TRENCH SECTION IN PAVED AREAS



- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
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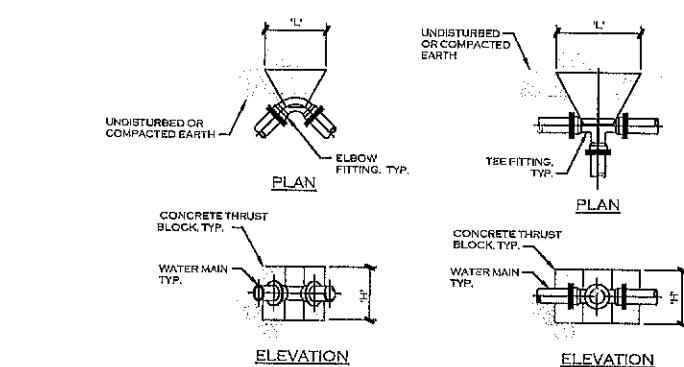
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PIPE BEDDING MATERIAL (NYSOT LATEST EDITION)

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SELECT MATERIAL BACKFILL (NYSOT LATEST EDITION)

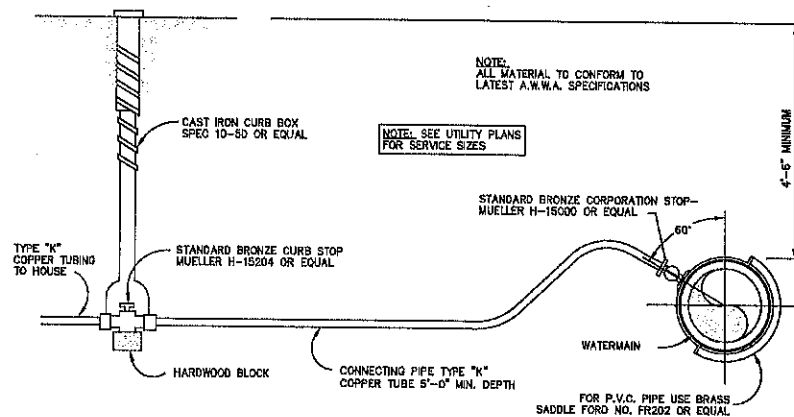
UTILITY TRENCH SECTION IN UNPAVED AREAS



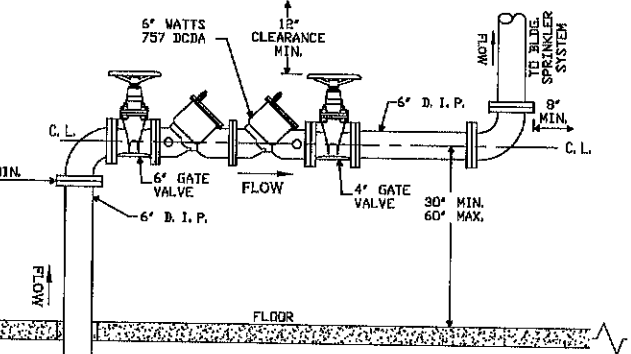
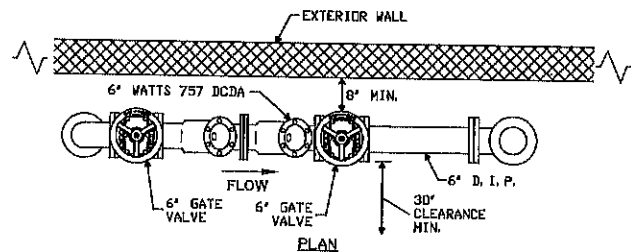
DIMENSION SCHEDULE		
PIPE SIZE	TEE OR TAP SLEEVE	
4"	1.5'	1.0'
6"	1.5'	2.5'
8"	1.5'	3.5'
10"	2.5'	3.5'
12"	3.5'	3.5'

DIMENSION SCHEDULE									
PIPE SIZE	90° ELBOW	45° ELBOW	22.5° ELBOW	11.25° ELBOW					
4"	1.5'	2.0'	1.0'	2.0'	1.0'	1.0'	1.0'	1.0'	1.0'
6"	2.0'	2.5'	1.5'	2.0'	1.0'	1.5'	1.0'	1.5'	1.5'
8"	2.5'	3.5'	2.0'	2.5'	1.5'	1.5'	1.0'	2.0'	2.0'
10"	3.0'	4.5'	2.5'	3.0'	1.5'	3.0'	1.0'	2.5'	2.5'
12"	3.5'	5.0'	3.0'	3.5'	2.5'	2.5'	1.5'	2.5'	2.5'

THRUST BLOCK SCHEDULE

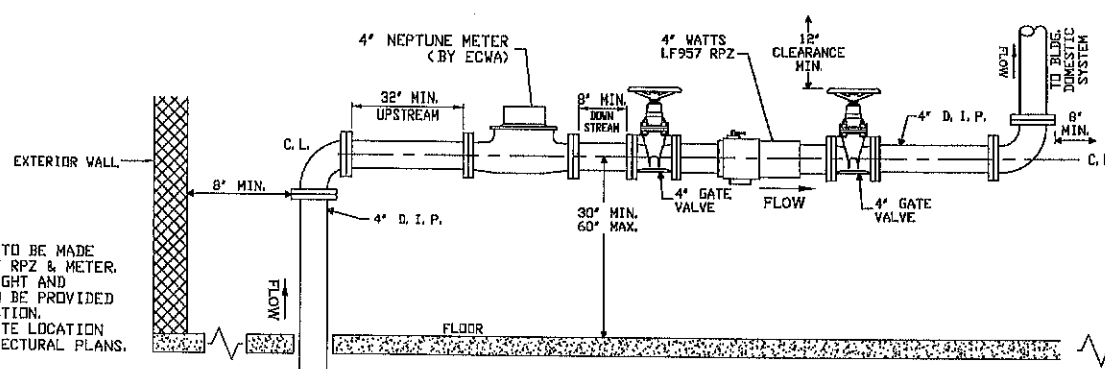
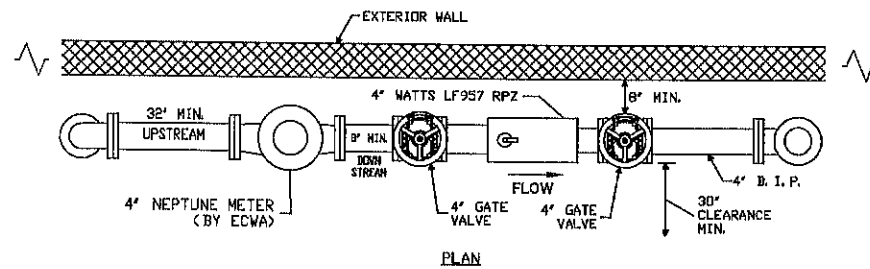


TYPICAL WATER SERVICE LINE INSTALLATION



6" FIRE SERVICE - WATTS 757 DCDA

SCALE: NONE



4" DOMESTIC SERVICE - WATTS LF957 RPZ

SCALE: NONE

- NOTES:
- NO TAPS TO BE MADE UPSTREAM OF RPZ & METER.
 - HEAT, LIGHT AND ELECTRIC TO BE PROVIDED AT RPZ LOCATION.
 - COORDINATE LOCATION WITH ARCHITECTURAL PLANS.

- NOTES:
- NO TAPS TO BE MADE UPSTREAM OF RPZ & METER.
 - HEAT, LIGHT AND ELECTRIC TO BE PROVIDED AT RPZ LOCATION.
 - COORDINATE LOCATION WITH ARCHITECTURAL PLANS.

CARMINA WOOD

DESIGN

Buffalo | Utica | Greensboro

REVISIONS: No. Description Date

PROJECT NAME: Site Development Plans for: Mt. Olive Missionary Baptist Church

66 Wasson Avenue
Lackawanna, New York 14218

Date: 3/28/2025
Drawn by: JPB
Scale: As Noted

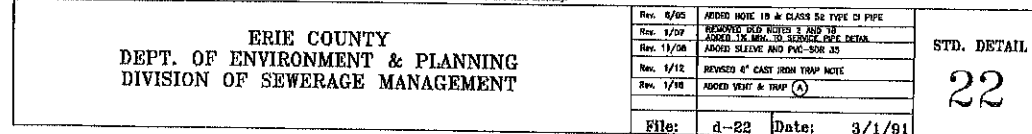
DRAWING NAME:

Utility
Details

DRAWING NO.

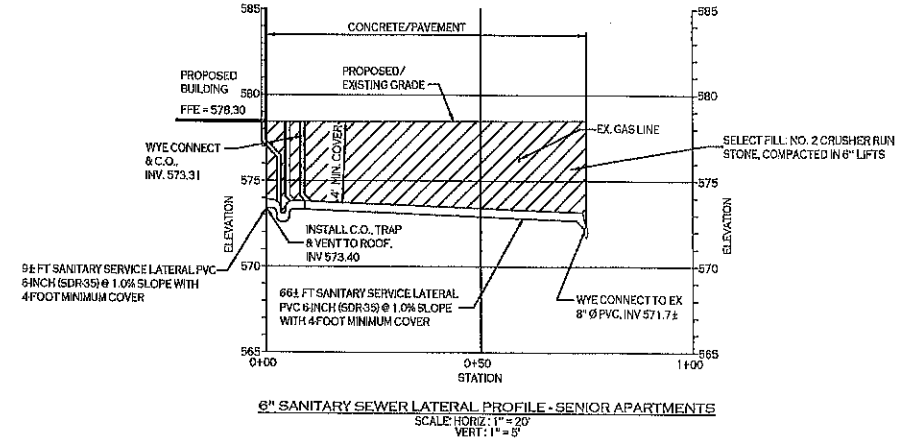
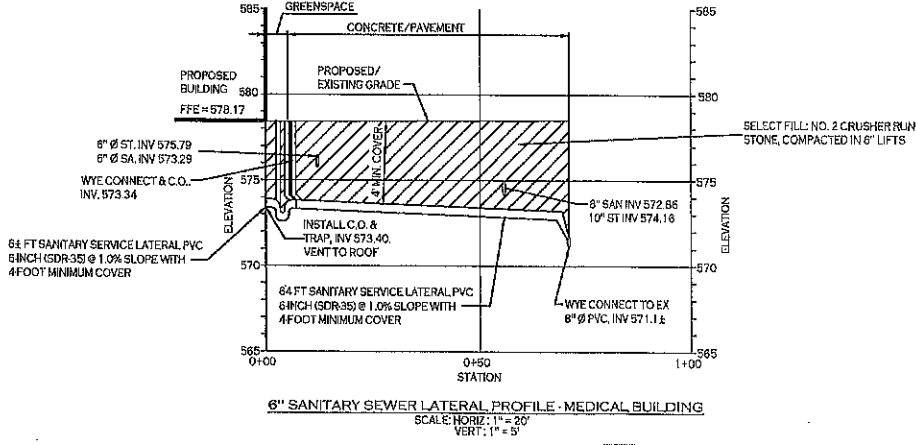
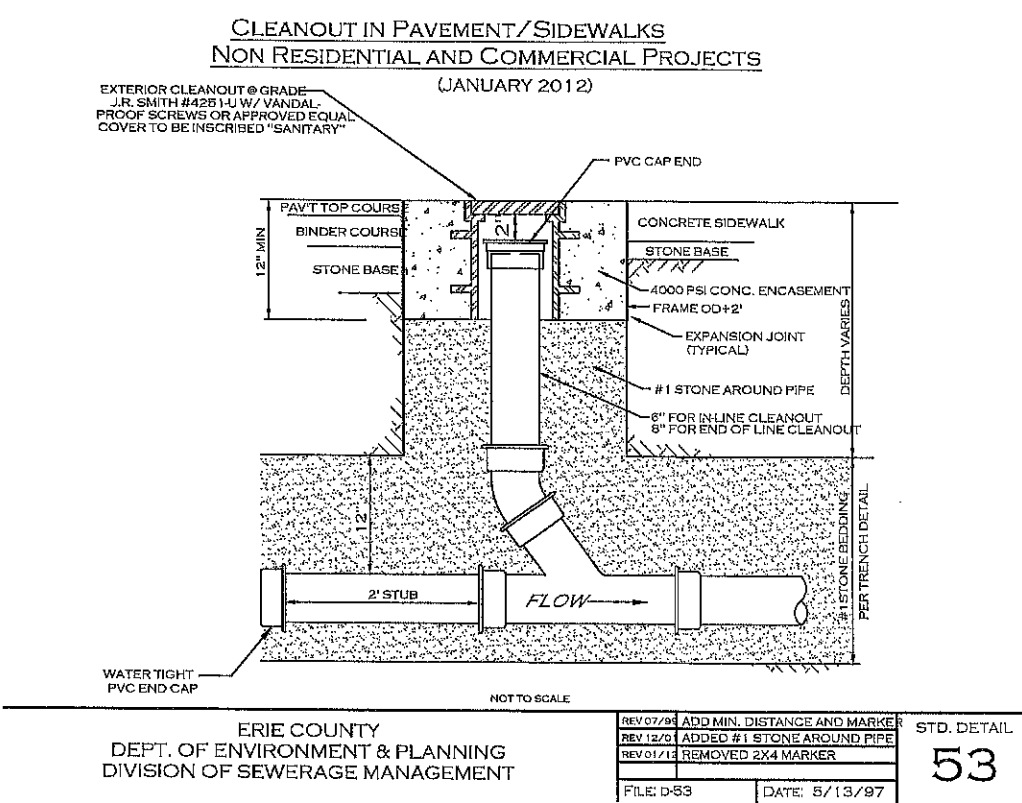
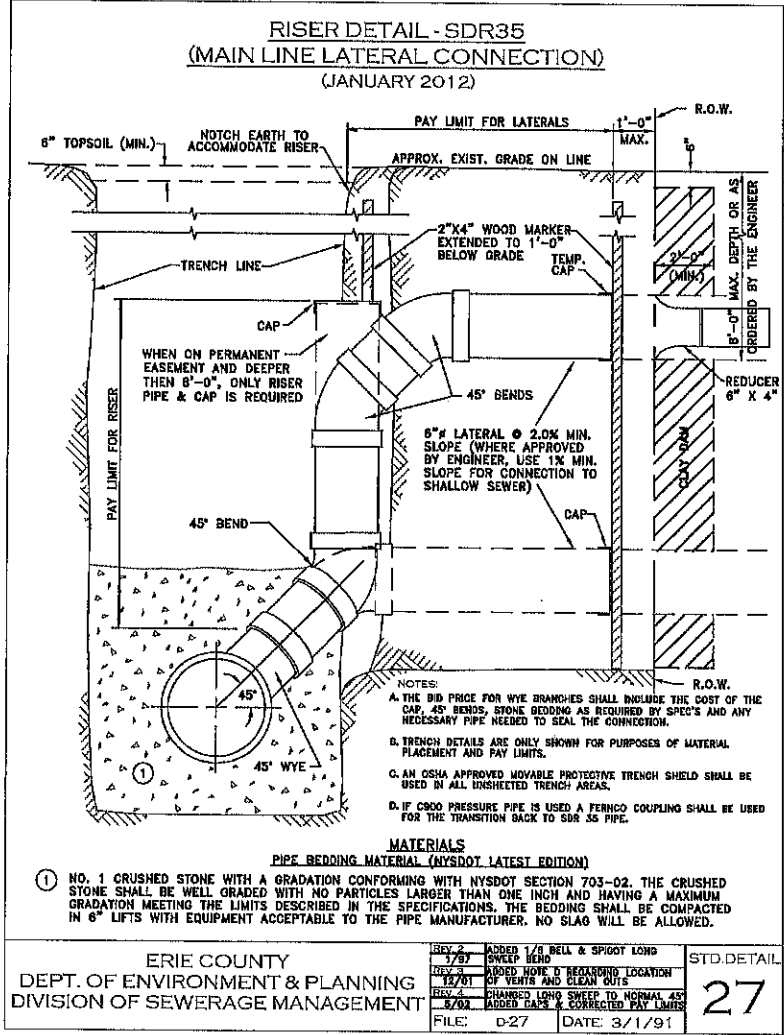
C-401

Project no.: 20.166



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CARMINA WOOD
DESIGN
Buffalo | Utica | Greensboro

REVISIONS:	No.	Description	Date

PROJECT NAME:
Site Development Plans for:
Mt. Olive Missionary Baptist Church
66 Wesson Avenue
Lackawanna, New York 14218

Date: 3/28/2025
Drawn by: JPB
Scale: As Noted

DRAWING NAME:
Utility
Details

DRAWING NO.
C-403
Project no.: 20.166

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Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Larger Lot Top	Illuminance	Fc	1.25	3.0	0.1
Smaller Lot Top	Illuminance	Fc	1.51	3.4	0.5

NOTE: Each fixture at 20' mounting height with house side shields

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION
PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C.
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PROJECT NAME:

Site Development Plans for:

Mt. Olive Missionary Baptist Church

66 Wasson Avenue
Lackawanna, New York 14218

DRAWING NAME:
Lighting
Plan

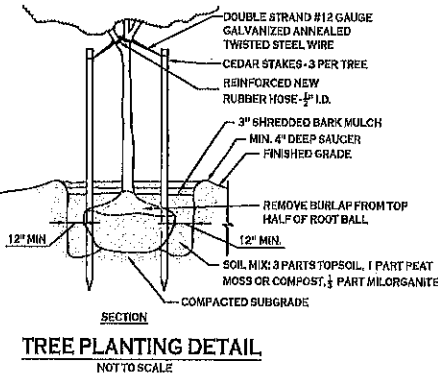
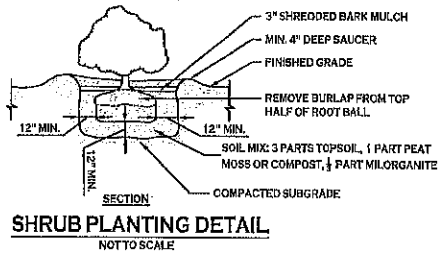
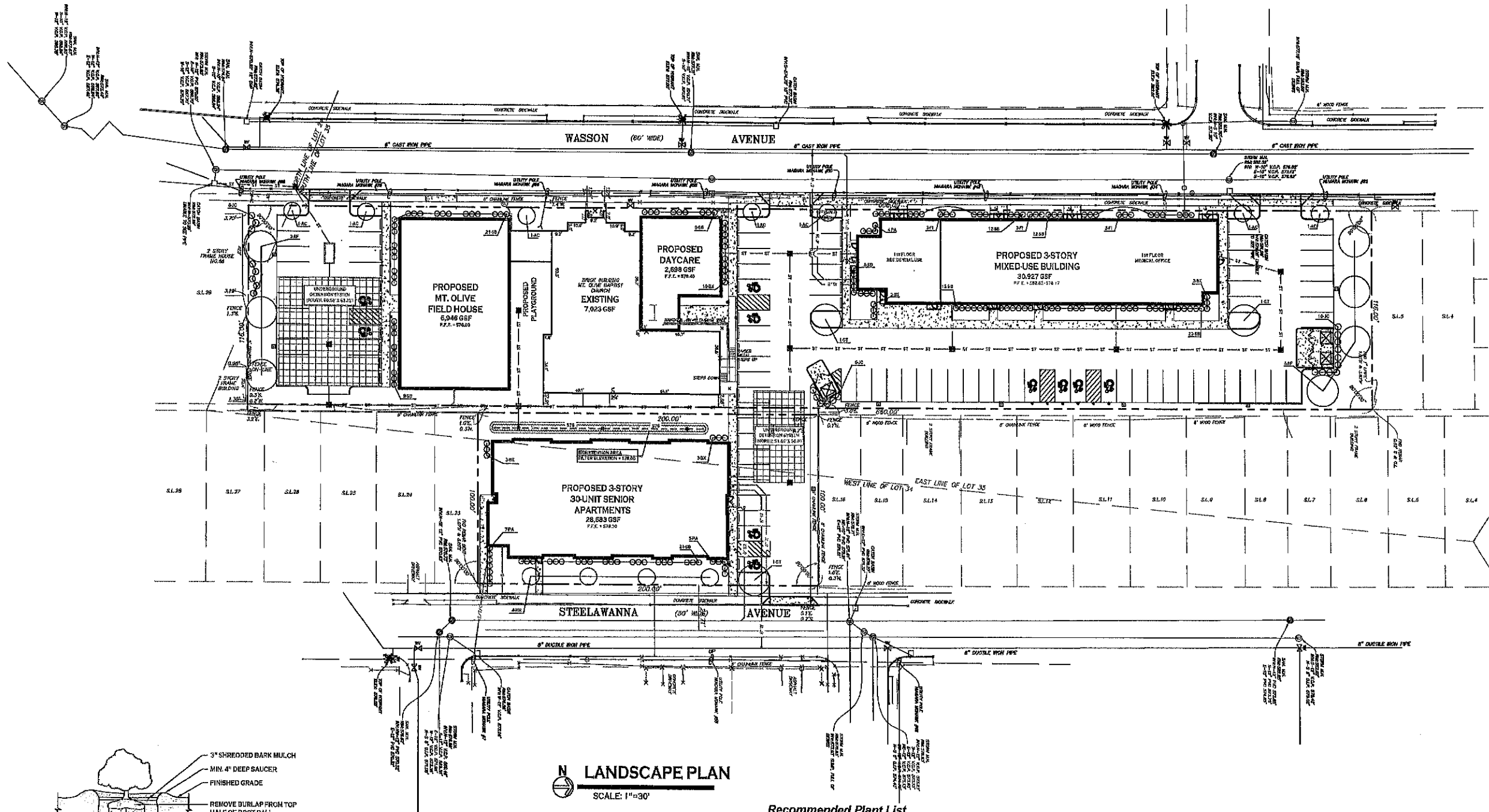
DRAWING NO.

C-500

Project no.: 20.166

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PLANTING NOTES:

1. ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
2. ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE THREE (3) INCHES DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
3. ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF 50% PEAT MOSS & 50% SCREENED TOPSOIL. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
4. ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.
5. ALL SHRUBS SHALL BE INSTALLED AT A MINIMUM HEIGHT OF TWENTYFOUR (24) INCHES.

Recommended Plant List

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES					
AF	7	Acar x freemanni 'Jeffersred'	Autumn Blaze Maple	2 1/2"-3" Cal.	B&B;
GT	3	Gleditsia triacanthos inermis	Skyline Honeylocust	2 1/2"-3" Cal.	B&B
SMALL/ORNAMENTAL TREES					
AC	7	Amelanchier canadensis	Serviceberry	8'-10' high	Multi-stem; 3 major stems minimum
MR	4	Malus 'Red Barron'	Red Barron Flowering Crabapple	1 1/2"-2" Cal.	B&B (18 ft. High to 8' wide)
SHRUBS					
BX	22	Buxus 'Green Velvet'	Green Velvet Boxwood	24" min. ht.	No. 5 Cont.
FI	9	Forsythia x intermedia 'Kolgold'	Magical Gold Forsythia	24" min. ht.	No. 5 Cont.
SB	124	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	24" min. ht.	No. 5 Cont.
IC	24	JUNIPERUS CHINENSIS 'HETZ STAKED'	HETZ STAKED JUNIPER	4' min. ht.	B&B/FULL TO GROUND
ORNAMENTAL GRASSES					
PA	16	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass**	No. 3 Cont.	

**Ornamental grasses should be pruned back in late fall or early spring to allow new foliage to grow in spring.

NOTE: All planting beds and tree pits shall receive a minimum 3-inch depth of dark shredded hardwood bark mulch

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



CARMINA WOOD
DESIGN

Buffalo | Utica | Greensboro

REVISIONS: No. Description Date

PROJECT NAME:
Site Development Plans for:
Mt. Olive Missionary Baptist Church
66 Wasson Avenue
Lackawanna, New York 14218

Date: 3/28/2025
Drawn by: JPB
Scale: As Noted

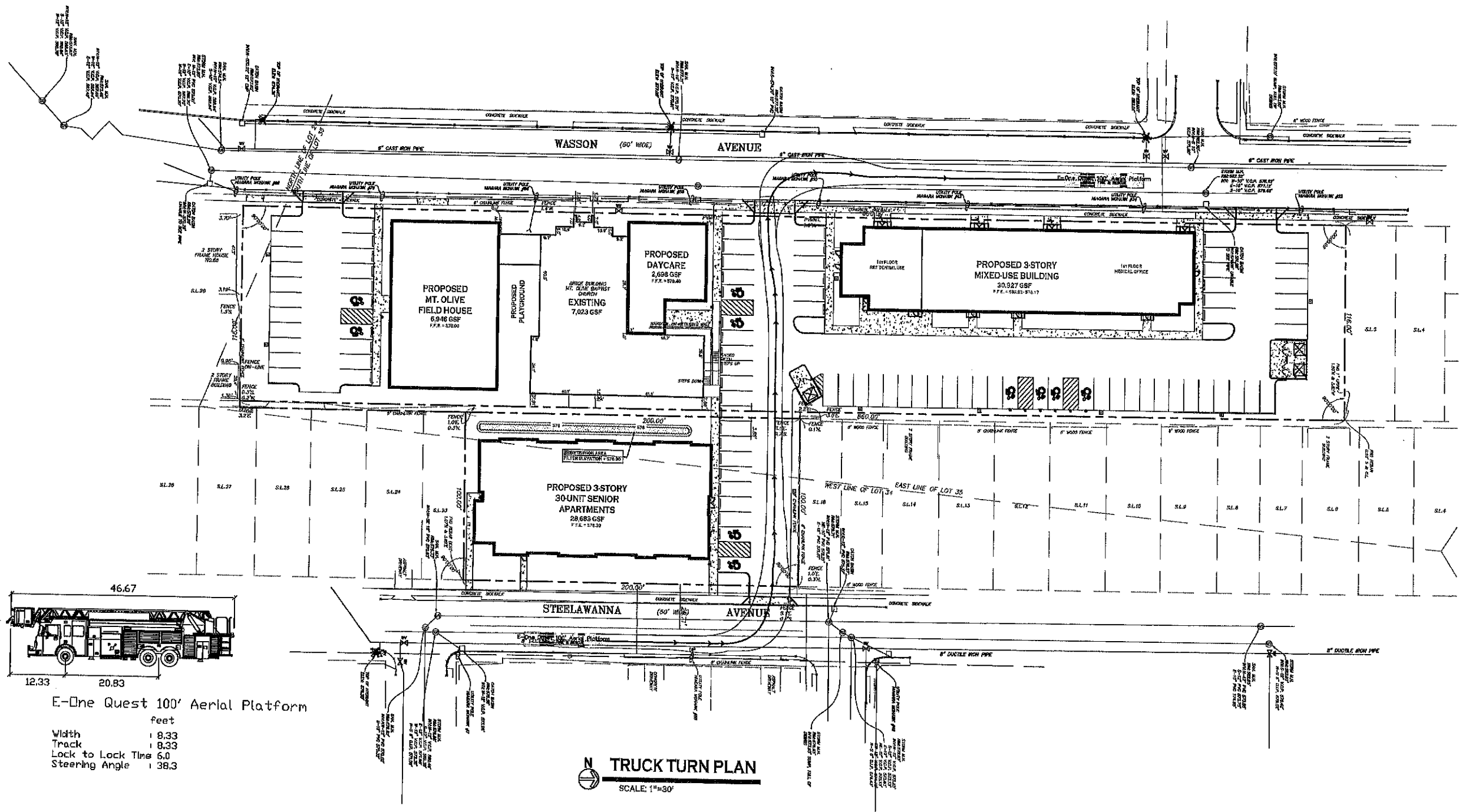
DRAWING NAME:
Landscape
Plan

DRAWING NO.

L-100

Project no.: 20.166

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E-One Quest 100' Aerial Platform
Width : 8.33
Track : 8.33
Lock to Lock Time : 6.0
Steering Angle : 38.3

N
TRUCK TURN PLAN
SCALE: 1"=30'

CARMINA WOOD
DESIGN
Buffalo | Utica | Greensboro

REVISIONS:	No.	Description	Date
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PROJECT NAME:
Site Development Plans for:
Mt. Olive Missionary Baptist Church
66 Wasson Avenue
Lackawanna, New York 14218

Date: 3/28/2025
Drawn by: JPB
Scale: As Noted

DRAWING NAME:
Truck Turn
Plan

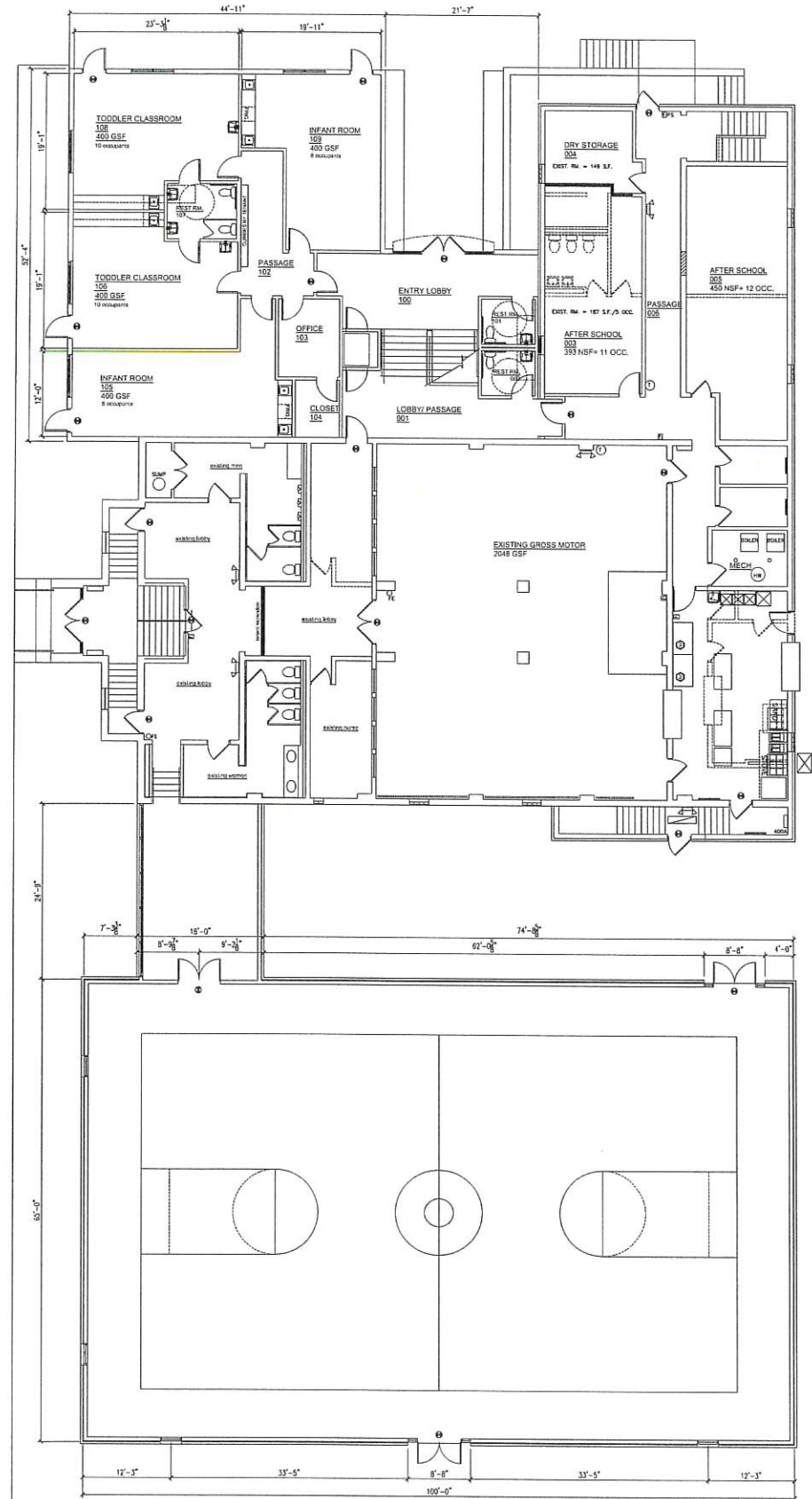
DRAWING NO.
T-100

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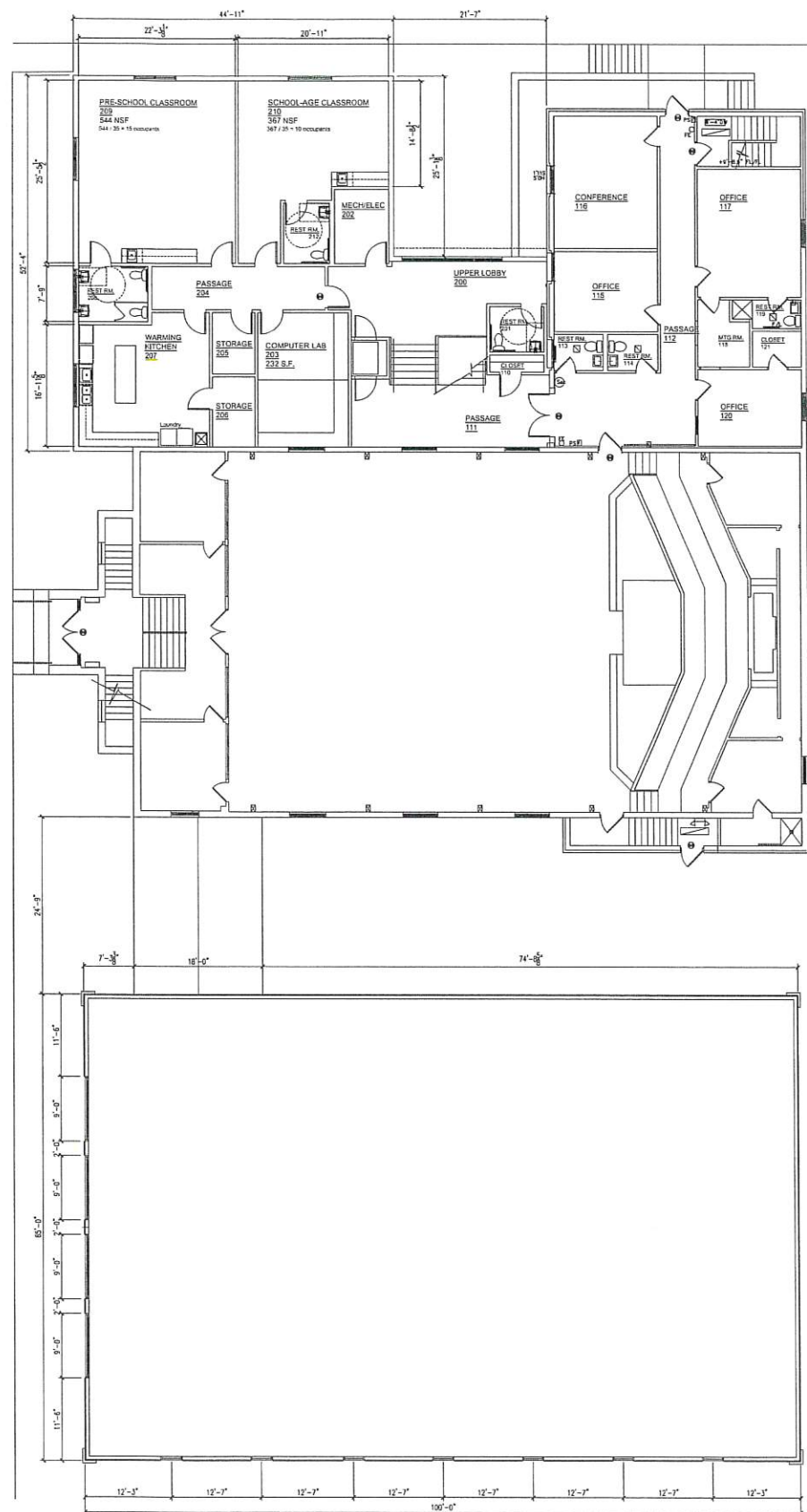
Exhibit C

Architectural Plans



1 GROUND FLOOR PLAN / FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



2 MAIN FLOOR PLAN / SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

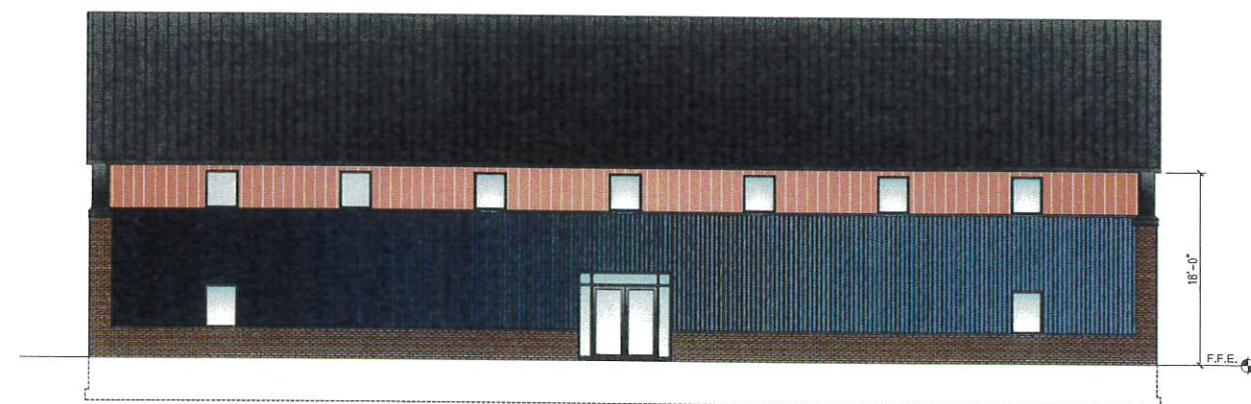
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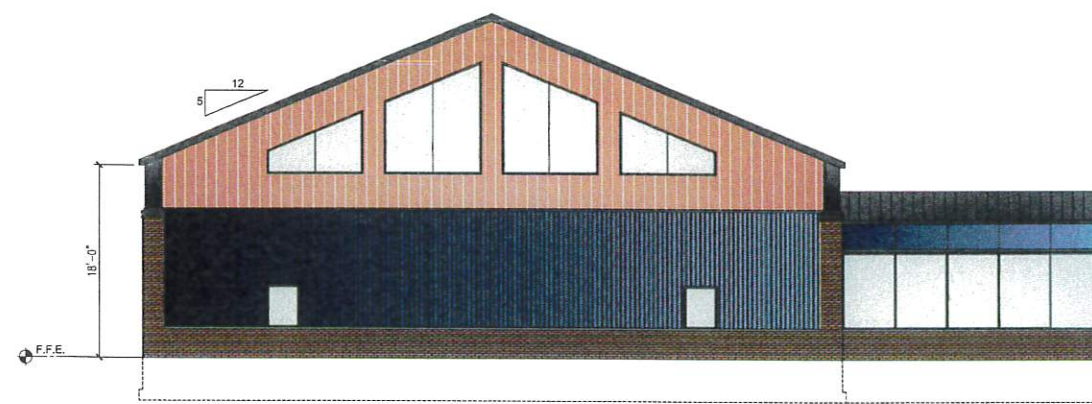
1 WEST ELEVATION AT DAYCARE AND GYMNASIUM ADDITIONS
SCALE: 1/8"=1'-0"



2 NORTH ELEVATION AT DAYCARE
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION AT GYMNASIUM ADDITION
SCALE: 1/8"=1'-0"



4 EAST ELEVATION AT GYMNASIUM ADDITION
SCALE: 1/8"=1'-0"

NO.	DESCRIPTION	DATE
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3	REVISION	
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5	REVISION	
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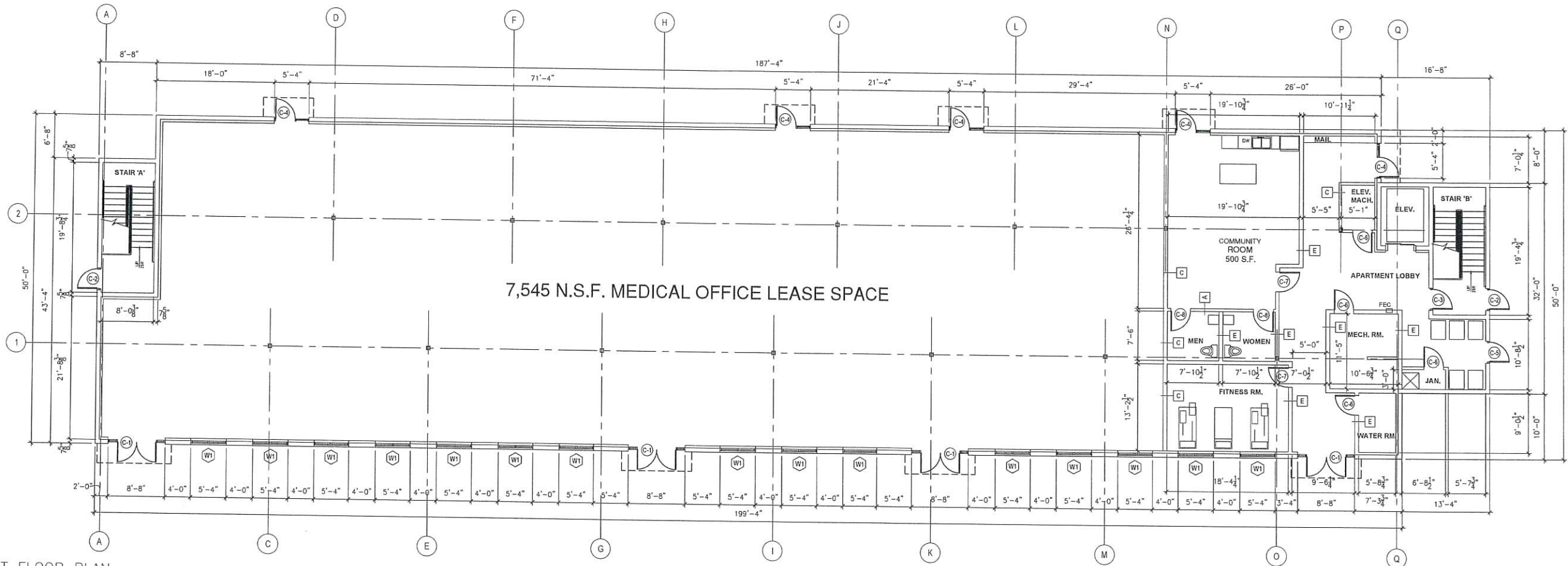
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NO.	DESCRIPTION	DATE
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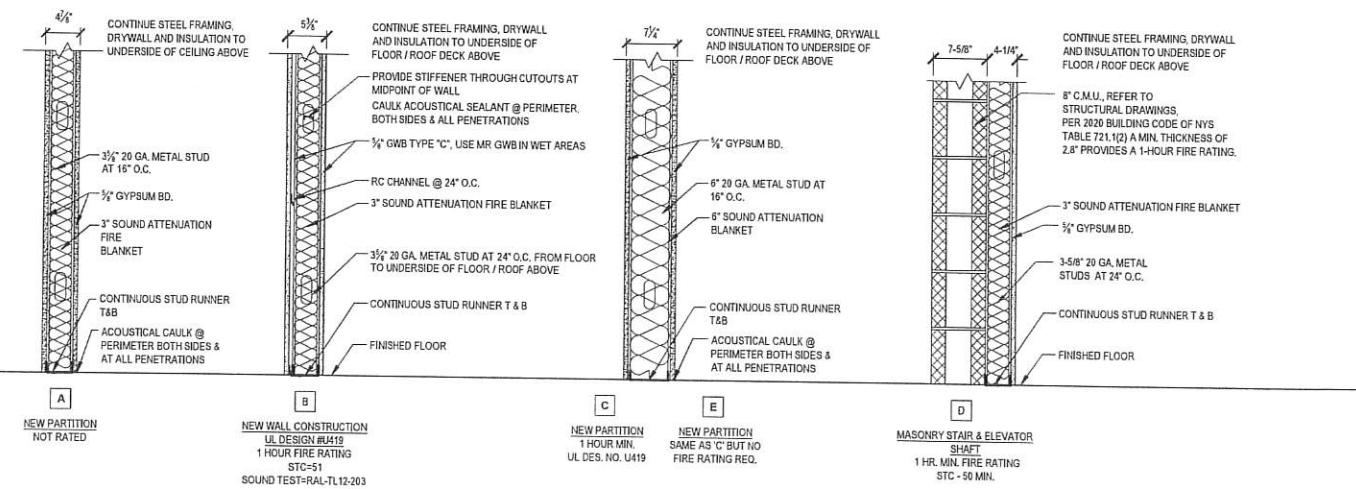
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NO.	DESCRIPTION	DATE
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NO.	DESCRIPTION	DATE
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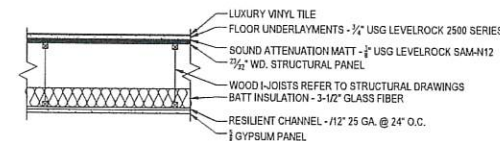
1 1ST FLOOR PLAN
A100 SCALE: 1/8" = 1'-0"



2 WALL TYPES
A100 SCALE: 1" = 1'-0"

SYMBOL LEGEND	
(C-4)	DOOR TYPE, REFER TO DOOR SCHEDULE SHT. A600
(A)	WALL TYPE, REFER TO DETAILS THIS SHT.
(W1)	WINDOW TYPE, REFER TO SHT. A600

NOTES:
- ALL FIRE RATED PARTITIONS SHALL HAVE CONTINUOUS FRAMING AND DRYWALL FROM FLOOR SLAB TO UNDERSIDE OF ROOF DECK. USE FIRE SAFING SEALANT AT PERIMETER, COMPLY WITH REQUIREMENTS AS LISTED IN UL DIRECTORY FOR UL DES. NO. INDICATED.
- INSTALL MOISTURE RESISTANT GYPSUM WALLBOARD IN RESTROOMS, BEHIND SINKS, & IN JANITORIAL ROOMS.
- PROVIDE WOOD BLOCKING IN WALLS FOR ANY WALL MOUNTED EQUIPMENT AS SPECIFIED BY TENANT OR AS INDICATED ON DRAWINGS.
- REFER TO STRUCTURAL DRAWINGS FOR STEEL STUD REQUIREMENTS AND PROVIDE GAUGE AS INDICATED ON STRUCTURAL PLANS.



DESIGN	UL L579
FIRE RATING	1 HOUR
CONSTRUCTION TYPE	11-7/8" WOOD ENGINEERED JOIST
STC RATING	59
IIC	53
SOUND TEST	1H5848.02
SYSTEM THICKNESS	14.75 IN.

3 FLOOR ASSEMBLY DETAIL
A100 SCALE: 3/4" = 1'-0"

ADELMANN PALMISANO ARCHITECTS
NOTICE
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	2 Changed floor plans
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	7

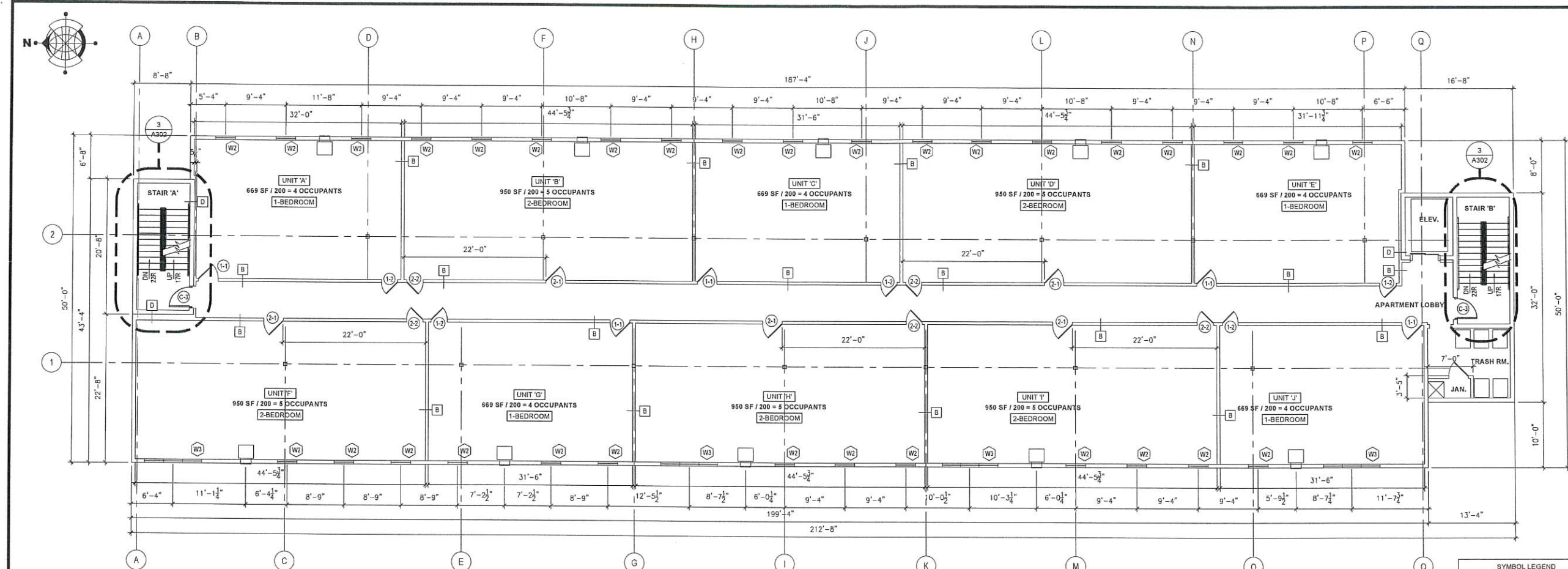
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PROJECT MANAGER	DMP
DRAWN BY	DMP/JAA
SCALE	on drawing
DATE ISSUED	11/3/2023



Adelmann Palmisano
Architects
1234 Orchard Plaza, Rm. 1420
Buffalo, N.Y. 14203
716-352-1057
adelmann@aparchi.com

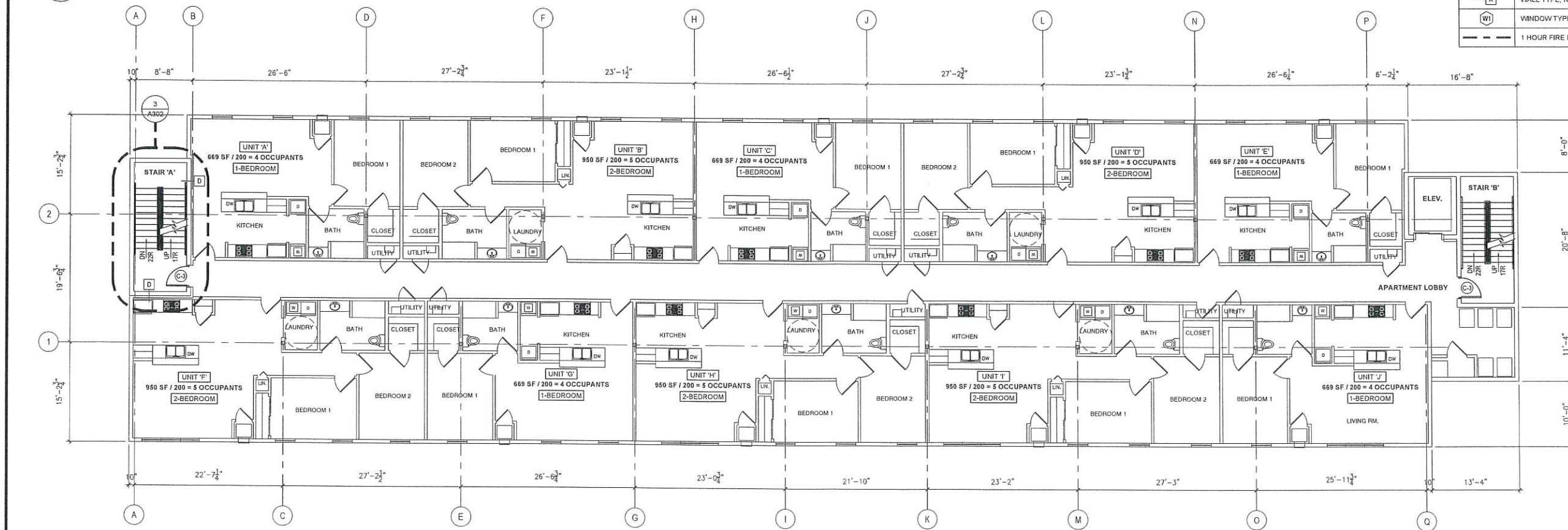
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MIXED USE 3-STORY BUILDING
APARTMENTS WITH MIXED USE FIRST FLOOR
64 WASSON AVE., BUFFALO, N.Y. 14218
TITLE OF DRAWING
1ST FLOOR PLAN, WALL TYPES

PROJECT NO.
2025-007
DRAWING NO.
A100



1 2ND FLOOR SHELL PLAN
A101
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND	
(C-4)	DOOR TYPE, REFER TO DOOR SCHEDULE SHT. A600
(A)	WALL TYPE, REFER TO DETAILS SHT. A100
(W1)	WINDOW TYPE, REFER TO SHT. A600
---	1 HOUR FIRE BARRIER



2 2ND FLOOR PLAN
A101
SCALE: 1/8" = 1'-0"

ADELMANN PALMISANO ARCHITECTS

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DATE	REVISIONS	DATE
11/28/23 <td>1</td> <td>11/28/23</td>	1	11/28/23
	2	
	3	
	4	
	5	
	6	
	7	

PROJECT ARCHITECT
DMP

PROJECT MANAGER
DMP

DRAWN BY
DMP / MAA

SCALE
on drawing

DATE ISSUED
11/3/2023

Adelmann Palmisano Architects

1374 Orchard Park Rd.
Buffalo, N.Y. 14224

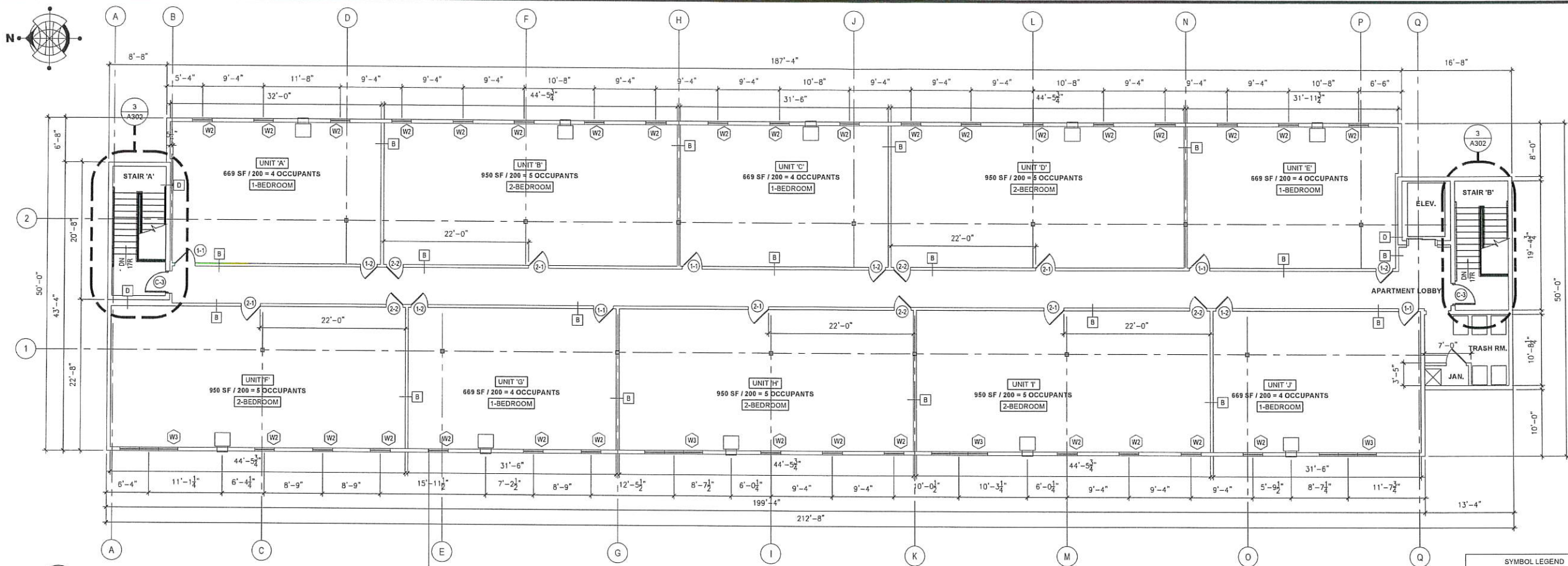
716-935-1687
adelpal@adelpal.com

PROJECT
MIXED USE 3-STORY BUILDING
APARTMENTS WITH MIXED USE FIRST FLOOR
64 WASSON AVE., BUFFALO, N.Y. 14218

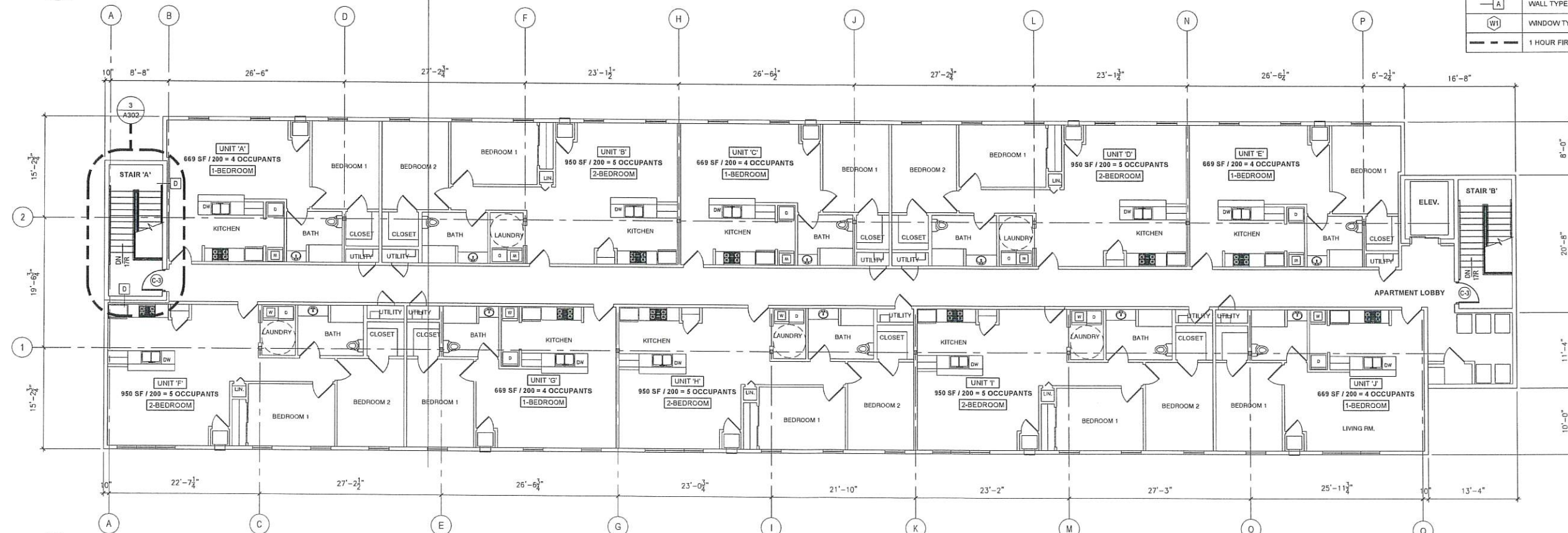
TITLE OF DRAWING
2ND FLOOR PLANS & SHELL PLAN

PROJECT NO.
2025-007

DRAWING NO.
A101



SYMBOL LEGEND	
(C-4)	DOOR TYPE, REFER TO DOOR SCHEDULE SHT. A600
(A)	WALL TYPE, REFER TO DETAILS SHT. A100
(W1)	WINDOW TYPE, REFER TO SHT. A600
---	1 HOUR FIRE BARRIER



ADELMANN PALMSANO ARCHITECTS
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	3	3	3
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	6	6	6
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PROJECT ARCHITECT	DMP
PROJECT MANAGER	DMP
DRAWN BY	DMP / MAA
SCALE	DATE ISSUED
on drawing	11/3/2023

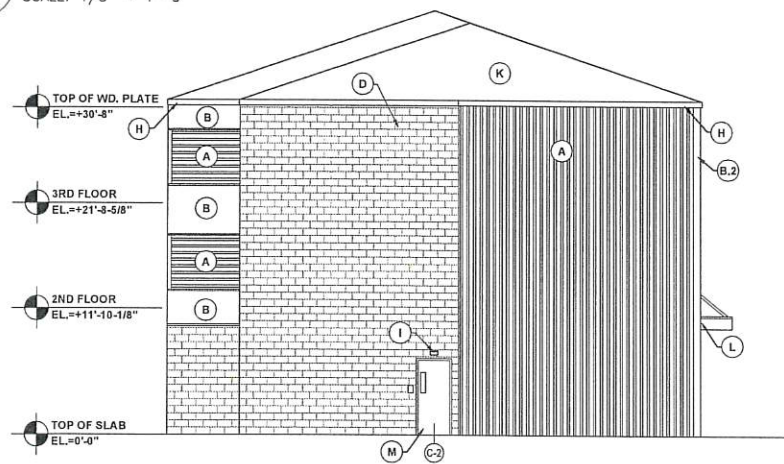


PROJECT
MIXED USE 3-STORY BUILDING
APARTMENTS WITH MIXED USE FIRST FLOOR
64 WASSON AVE., BUFFALO, N.Y. 14218
TITLE OF DRAWING
3RD FLOOR PLANS & SHELL PLAN

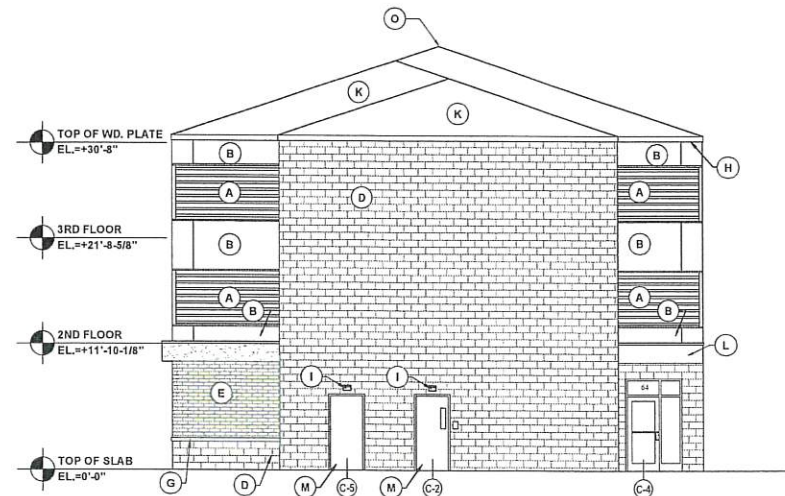
PROJECT NO.
2025-007
DRAWING NO.
A102



1 WEST ELEVATION
A200 SCALE: 1/8" = 1'-0"



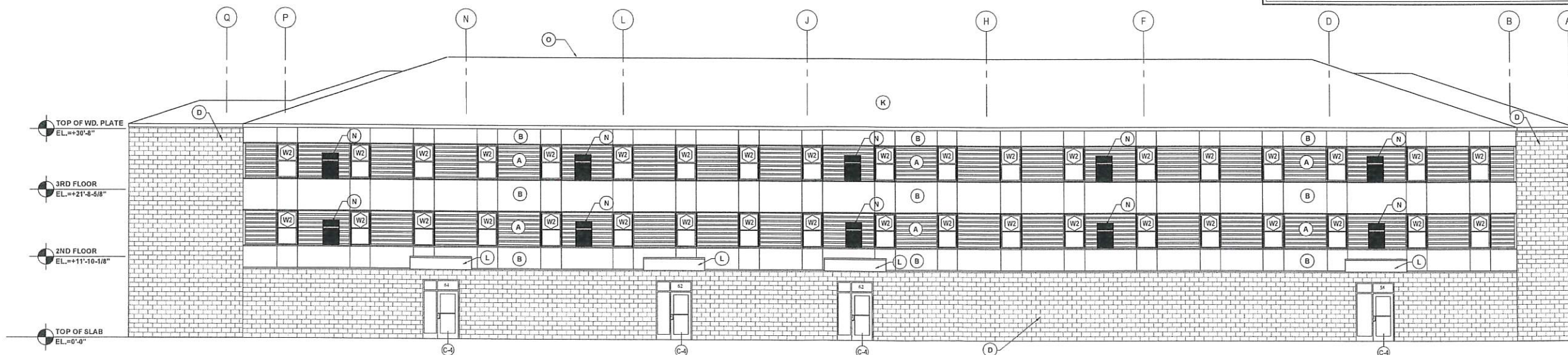
2 NORTH ELEVATION
A200 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
A200 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

- A NEW EXTERIOR METAL WALL PANEL SYSTEM AS MANUFACTURED BY ATAS INTERNATIONAL INC., BELVEDERE 8" SHORT-RIB PANELS, SMOOTH, .030 ALUM. OR ARCHITECT APPROVED EQUAL FINISH TO BE KYNAR 500 PVDF, COLOR: SLATE GREY (20). REFER TO DRAWINGS FOR VERT. OR HOR. DIRECTION
- B NEW EXTERIOR METAL WALL PANEL AS MANUFACTURED BY ATAS INTERNATIONAL INC., STERRACORE .032 ALUM. SMOOTH PANELS. FINISH TO BE SLATE GREY (20).
- B.1 NEW EXTERIOR METAL WALL PANEL AS MANUFACTURED BY ATAS INTERNATIONAL INC., STERRACORE .032 ALUM. SMOOTH PANELS. FINISH TO BE SLATE BLUE (21).
- B.2 NEW EXTERIOR METAL WALL PANEL AS MANUFACTURED BY ATAS INTERNATIONAL INC., STERRACORE .032 ALUM. SMOOTH PANELS. FINISH TO BE CLEAR SATIN ANODIZED (79).
- C SIGNAGE TO BE PROVIDED & INSTALLED BY OWNER / TENANT.
- D NEW 8" GROUND FACE CMU, COLOR NM184 AS MANUFACTURED BY NITTERHOUSE OR ARCHITECT APPROVED EQUAL.
- E NEW 8" SPEC-BRICK CMU AS MANUFACTURED BY CONCRETE PRODUCTS GROUP COLOR: ST. CLOUD BLEND
- F PRECAST STONE SILL AS MANUFACTURED BY ROCKCAST OR ARCHITECT APPROVED EQUAL, COLOR: BUFFSTONE, REFER TO WALL SECTIONS & DETAILS.
- G PRECAST STONE ACCENT BANDING AS MANUFACTURED BY ROCKCAST OR ARCHITECT APPROVED EQUAL, COLOR: BUFFSTONE, REFER TO WALL SECTIONS & DETAILS.
- H ALUMINUM FASCIA, SOFFIT, GUTTERS, AND DOWN SPOUTS AS MANUFACTURED BY ATAS INTERNATIONAL INC. OR ARCHITECT APPROVED EQUAL, FINISH TO BE ROCKY GREY (15) TO MATCH WALL PANELS.
- I EXTERIOR LED WALL PACK LIGHTING @ 7'-6" A.F.F. TO BOTTOM, REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
- J EXTERIOR LED WALL MOUNTED LIGHT FIXTURE: DWIELED LATITUDE W5-W52514BK (BLACK) AS MANUFACTURED BY WAC LIGHTING OR ARCHITECT APPROVED EQUAL.
- K ROOFING: PROVIDE GAF TIMBERLINE SERIES ASPHALT ROOF SHINGLES W/ 'SLATE' COLOR ON 15LB FELT AND 60" GRACE ICE & WATER SHIELD AT BUILDING PERIMETER W/ 1" EXTERIOR RATED PLYWOOD ROOF SHEATHING.
- L ENTRANCE CANOPY -METAL WALL PANELS AS MFG. BY ATAS INTERNATIONAL INC. STERRACORE .032 ALUMINUM SMOOTH PANELS FINISH TO BE SLATE GREY (20)
- M PAINT HM DOORS AND TRIM 'SATIN BLACK'
- N MAGIC PAK EXTERIOR GRILLES TO MATCH COLOR OF PANEL (SLATE GREY)
- O PROVIDE RIDGE VENTS AT ALL RIDGE LOCATIONS ON ROOF



4 EAST ELEVATION
A200 SCALE: 1/8" = 1'-0"

ADELMANN PALMISANO ARCHITECTS
NOTICE
DRAWING ALTERATION
THIS DOCUMENT IS SOLELY THE PROPERTY OF ADELMANN PALMISANO ARCHITECTS, P.C. AND AS ATTACHED WITH A PROFESSIONAL SEAL, AUTHORIZES ITS ACCURACY.
ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

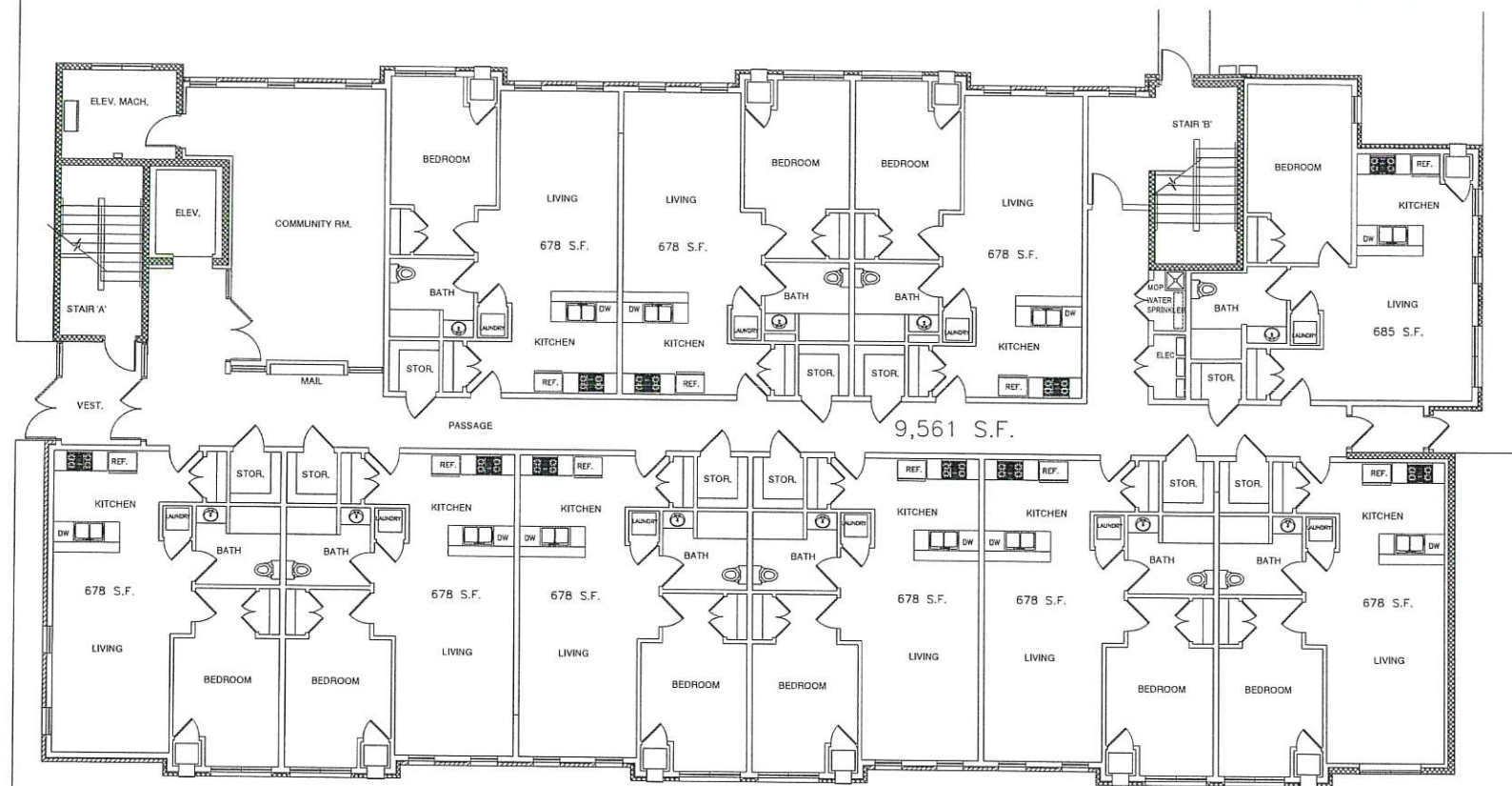
DATE	REVISIONS	DATE
11/26/23	1 REDUCE APT. S.F.	
	2	
	3	
	4	
	5	
	6	
	7	

PROJECT ARCHITECT	DATE ISSUED
DMP	TBD
PROJECT MANAGER	
DMP	
DRAWN BY	
DMP / MAA	
SCALE	
on growing	

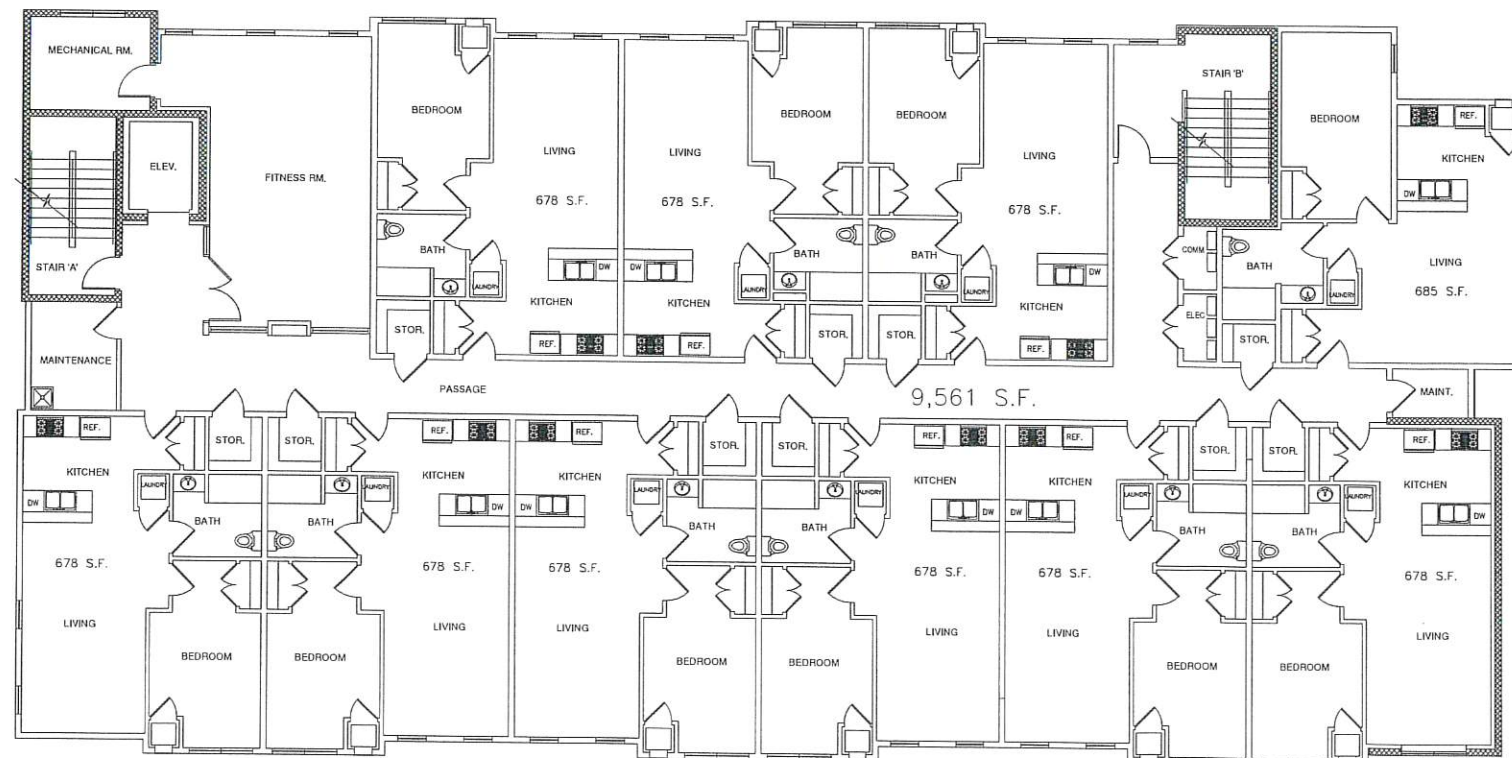


PROJECT
MIXED USE 3-STORY BUILDING
APARTMENTS WITH MIXED USE FIRST FLOOR
64 WASSON AVE. BUFFALO, N.Y. 14218
TITLE OF DRAWING
EXTERIOR ELEVATIONS

PROJECT NO.
2025-007
DRAWING NO.
A200



1 1ST FLOOR PLAN
A100 SCALE: 1/8" = 1'-0"



2 2ND. & 3RD. FLOOR PLAN
A100 SCALE: 1/8" = 1'-0"

ADELMANN PALMISANO ARCHITECTS
NOTICE
DRAWING ALTERATION
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ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO NOTIFY HIS OR HER SEAL AND THE NOTARY PUBLIC BY FOLLOWING BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

DATE	REVISIONS
1	2
3	4
5	6
7	

PROJECT ARCHITECT
DMP
PROJECT MANAGER
DMP
DRAWN BY
DMP/MAA
SCALE
on drawing
DATE ISSUED
11/3/2023



Adelmann Palmisano
Architects

1374 Oakland Park Rd.
Buffalo, N.Y. 14224
716-352-1003
apalmisano@apabuffalo.com

PROJECT
3-STORY BUILDING
SENIOR APARTMENTS

64 WASSON AVE., BUFFALO, N.Y. 14218

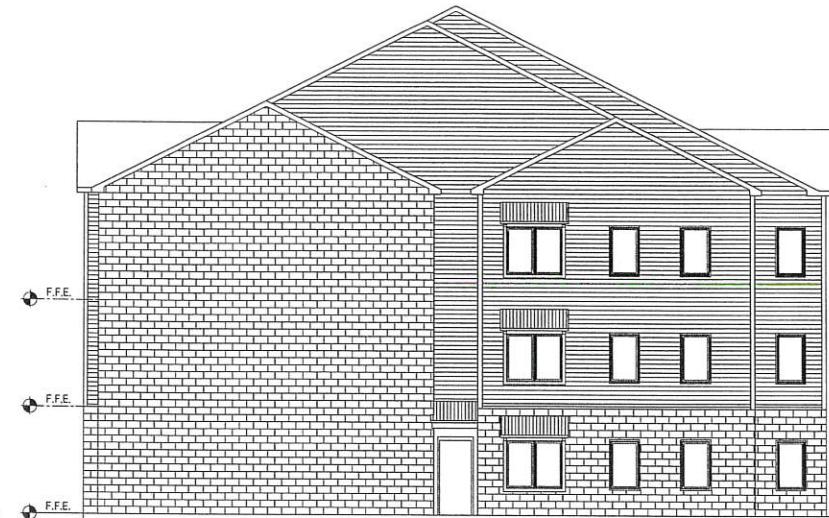
TITLE OF DRAWING
FLOOR PLANS

PROJECT NO.
2025-008

DRAWING NO.
A100



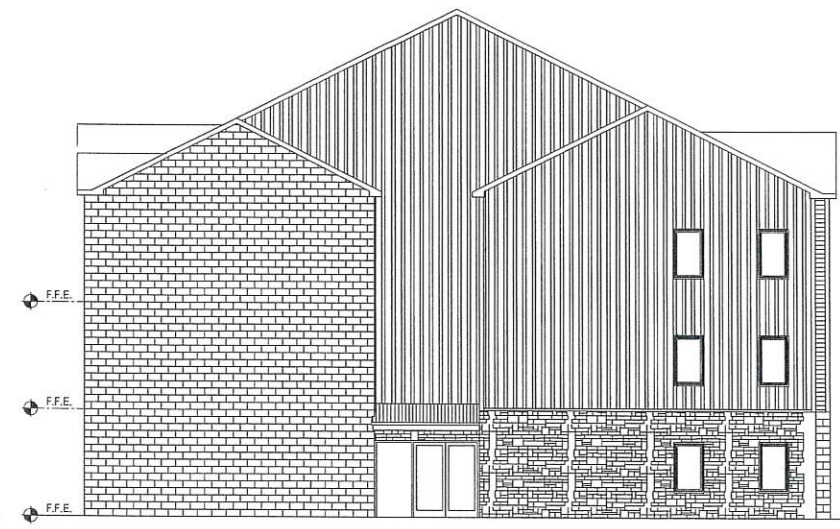
1 WEST ELEVATION
A200 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A200 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
A200 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
A200 SCALE: 1/8" = 1'-0"

ADELMANN PALMISANO ARCHITECTS
NOTICE
DRAWING ALTERATION
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PROPERTY OF ADELMANN PALMISANO
ARCHITECTS, P.C. AND AS AFFIXED WITH A
PROFESSIONAL SEAL AUTHORIZES ITS
ACCURACY.
ANY LICENSEE WHO ALTERS THIS
DOCUMENT IS REQUIRED BY LAW TO
AFFIX HIS OR HER SEAL AND THE
NOTATION "ALTERED BY" FOLLOWED BY
HS OR HER SIGNATURE AND SPECIFIC
DESCRIPTION OF THE ALTERATIONS.

DATE	REVISIONS
1	2
3	4
5	6
7	

PROJECT ARCHITECT DMP	PROJECT MANAGER DMP	DRAWN BY DMP/AAA	SCALE On drawing	DATE ISSUED 11/2/2023
--------------------------	------------------------	---------------------	---------------------	--------------------------



Adelman Palmisano
Architects
1374 Orchard Park Rd.
Buffalo, N.Y. 14221
716-252-1087
adelmann@apabuffalo.com

PROJECT
3-STORY BUILDING
SENIOR APARTMENTS
64 WASSON AVE., BUFFALO, N.Y. 14218
TITLE OF DRAWING
EXTERIOR ELEVATIONS

PROJECT NO.
2025-008
DRAWING NO.
A200

Exhibit D

Environmental Assessment Form

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Mt. Olive Mixed-Use Redevelopment			
Project Location (describe, and attach a location map): 66 Wasson Avenue and contiguous properties, City of Lackawanna			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor: Mt. Olive Missionary Baptist Church of Lackawanna		Telephone: 716.805.7191: (P. Sorgi: Project Attorney) E-Mail: psorgi@hsmlegal.com	
Address: 66 Wasson Avenue			
City/PO: Lackawanna		State: NY	Zip Code: 14218
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: See attached Exhibit 1			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			2.25 acres 2.25 acres 2.25 acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Church <input type="checkbox"/> Parkland			

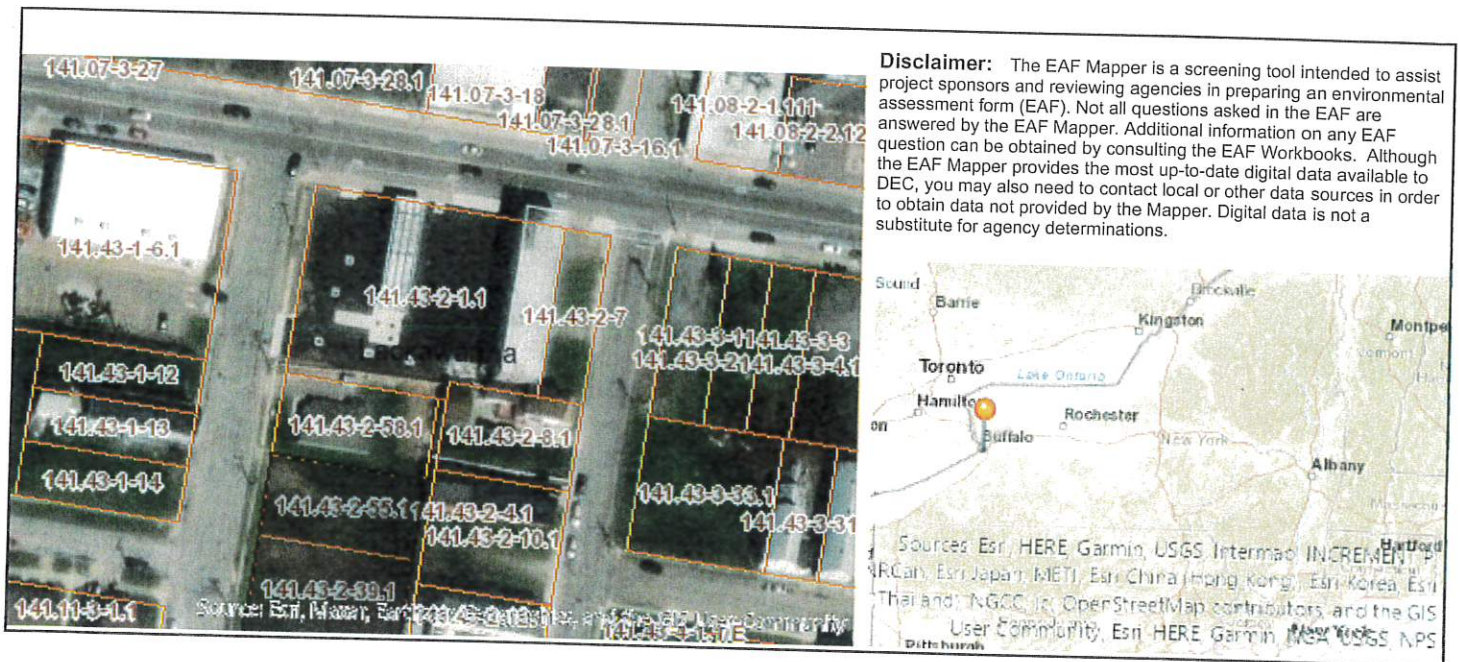
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:			
Meets State Energy Code Requirements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: connect to public discharge system. _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Mt. Olive Missionary Baptist Church of Lackawanna</u> Date: <u>4.11.2025</u>		
Signature: <u>P. S.</u> Peter J. Sorgl, Esq. Title: <u>Project Attorney</u>		

PRINT FORM

EAF Mapper Summary Report

Thursday, March 27, 2025 9:45 AM



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	915161, V00319, E915188, C915240, C915197, C915197B, C915197C, C915197D, C915197E, C915197F, C915197G, C915197H, C915197I, C915197J, C915197K, C915198K, C915198L, C915269, 915265, 915267, C915202, C915197L
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	Yes
E.2.l. [Aquifers]	No

E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Exhibit 1 to EAF

Required Government Agency Approvals

GOVERNMENT AGENCY	TYPE OF APPROVAL
City of Lackawanna Planning & Development Board	Site Plan / Development Plan
City of Lackawanna Zoning Board of Appeals	Area Variances
City of Lackawanna Building Department	Building Permit
Erie County Sewer District # 6	Sewer Permit
Erie County Water Authority	Water Permit
NYS Department of Environmental Conservations	SPDES Permit



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Application Notice

April 18, 2025

Peter J. Sorgi, Esq
574 Main Street, Suite 204
East Aurora, NY 14052

Re: 66 Wasson Ave – Mt Olive Baptist Church

The above item has been placed on the agenda for the next scheduled meeting of the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna.

Planning and Development Board

Zoning Board of Appeals

Date: April 30, 2025

Date:

Time: 6:00pm

Time:

City Council Chambers Room 241
Lackawanna City Hall

If you have any questions please feel free to call 827-6474

Boarding Neighbors
See attach sheet



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Bordering Property Notice

Dear Sir or Madam:

As an adjoining property owner in the City of Lackawanna, you are hereby notified that a neighbor has made application to the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna as follow;

- | | |
|---|-----------------------------|
| 1. _____ Site Plan Review | 2. _____ Special Use Permit |
| 3. <u> X </u> Development Plan Review | 4. _____ Variance |
| 5. _____ Zoning Law Appeals | |

Property owner: Mt Olive Baptist Church

Address: 66 Wasson Ave

In reference to: Construct day care, field house, 3 story 30 unit senior apartments and mixed use building

You are entitled to appear at the public hearing scheduled for **4/30/25@ 6:00pm** in Council Chambers at Lackawanna City Hall to express your support or opposition to the granting of said application.

Communications, relating to the application, may be filed with the appropriate Board before the meeting by writing to:

Planning & Development Board/Zoning Board
Department of Development
714 Ridge Road, Room 309
Lackawanna, NY 14218

If you have any questions regarding the meeting, please call 716-827-6474

PLANNING AND DEVELOPMENT BOARD, CITY OF LACKAWANNA
ZONING BOARD OF APPEALS, CITY OF LACKAWANNA

Steelawanna

Marcia Vec. L - 13 Steelawanna

New Bethel Church - 21 Steelawanna

Luis Torres - 29 Steelawanna

Hamood Ahmed Anam - 43 Steelawanna

PR1 Properties LLC - 675 Delaware Ave ¹⁴²⁰⁹ BFTO

Mansoor Saleh - 113 Holland Ave - Lack

Sadeq Ahmed - 4408 Milestrip Rd ^{Unit 14219} ~~14216~~ Biasaell

Willie Cleveland - 85 Steelawanna - Lack

Eber Property - 42 Goodrich Rd - Lack

Owner - 73 Steelawanna - Lack

Annie Norman - 88 Wasson - Lack

Owner - 16 Wasson - Lack

Owner - 116 Wasson - Lack

Eates project

30 Steelawanna - Owner

32 11 11

34 11 11

Maria Rojas - 34 Steelawanna

Luz Rivera - 62 Steelawanna

Halla Property Mang - PO Box 84 - Lack



CITY OF LACKAWANNA
OFFICE OF CODE ENFORCEMENT

714 Ridge Road – Room 311
Lackawanna, NY 14218
Tel: (716) 827-6474 Fax: (716) 827-1866



Date 4/30/25

Agenda Checklist
Zoning Board of Appeals
Planning and Development Board

Property address 19 WASSON

Reason in front of the board SITE PLAN APPROVAL

Special use permit needed for Zoning? Yes ☒ No ☐ Planning? Yes ☐ No ☒

Agenda Applicant NAEF ALHAJJATI

Agenda item GROCERY STORE AND ACCESSORIES, TOBACCO

Zone MIXED RESIDENTIAL

Use variance needed? Yes ☐ No ☒

Description of use variance (not allowed in that zone) —

Area variance needed? Yes ☒ No ☐

Description of area variances needed (Parking/ height ect...) APPROVED ON OCTOBER 24TH 2024 BY ZONING BOARD.

Description of agenda use? GROCERY STORE AND BAGS, HAIR, ACCESSORIES, PLUS TOBACCO

Code enforcement research (attached if applicable) YES

Legal opinion/ research (attached if applicable) NO

Scott Hayes
Code Enforcement Officer



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

714 Ridge Road - Room 309
Lackawanna, NY 14218
Tel: (716) 827-6421 Fax: (716) 827-1866



APPLICATION
TO THE CITY OF LACKAWANNA
PLANNING AND DEVELOPMENT BOARD

Date: 9-16-24

Application No. _____

Site Plan Review

Filing Fee \$10.00

☒ Less than 0.5 acres
☐ 0.5 to 1.0 acres
☐ 1.0 to 2.0 acres
☐ 2.0 to 5.0 acres
☐ Greater than 5 acres
\$ 400.00 plus \$100.00 per acres

\$ 50.00
\$ 200.00
\$ 400.00
\$ 400.00

\$ _____

☐ Special Use Permit
☐ Development Plan Review

\$ 500.00
\$ 50.00

Property Address: 19 WASSON AVE

S.B.L. No. 141.43-1-~~12~~ 13

Description of Proposed Project: Grocery store,
Bags, Hair, accessories, tobacco

Director of Development

APPLICATION IS HEREBY MADE to the City of Lackawanna Planning and Development Board for a site plan review, special use permit, development plan review or subdivision review as required by the Municipal Code of the City of Lackawanna. The applicant hereby agrees to comply with all applicable laws, rules, ordinances and regulations.

Naef Alhajjaji

Name of Applicant

[Signature]

Signature of Applicant

19 Wasson Ave

Address of Applicant

[Redacted]

Applicant Phone No.

lessee

Applicant's Email

Role of Applicant to Project
(owner, attorney, lessee, agent,
architect, engineer, contractor...)

Property Owner:

NAME: Abdullah Alhajjaji

Address: 19 Wasson Ave

Lackawanna NY 14218

36 x 22

stalls

bathroom

Coolers & freezers

Freezers

Coolers

Grocery

Grocery

Bags

Paper & Plastic bags

Counter &
Cashier

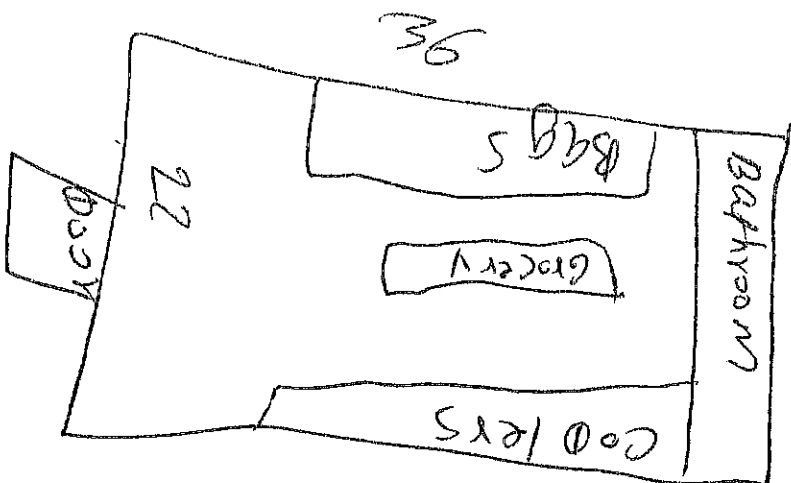
Door

729 SQ FT.

19
Wasson

5.28 spaces FOR STAIR

36 x 22



792 SOFT.

5.28 SACS FORSTOCK

4485

3 BED	2.4
2 BED	2.3
2 BED.	2.3
1 BED	1.5
STOCK	5.28

13.78 SACS

VARIANCE

14 PAILING SPACE.

OCT 30TH 2024

ZONING BOARD APPROVED

14 PAILING SPACE VARIANCE



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Application Notice

April 18, 2025

Naef Alhajjaji
24 Pearl St
Lackawanna, NY 14218

Re: 19 Wasson Ave

The above item has been placed on the agenda for the next scheduled meeting of the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna.

Planning and Development Board

Zoning Board of Appeals

Date: April 30, 2025

Date:

Time: 6:00pm

Time:

City Council Chambers Room 241
Lackawanna City Hall

If you have any questions please feel free to call 827-6474

Boarding Neighbors
Second Baptist Church – 18 Church



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Bordering Property Notice

Dear Sir or Madam:

As an adjoining property owner in the City of Lackawanna, you are hereby notified that a neighbor has made application to the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna as follow;

- | | |
|--|---------------------------------------|
| 1. <u> X </u> Site Plan Review | 2. <u> </u> Special Use Permit |
| 3. <u> </u> Development Plan Review | 4. <u> </u> Variance |
| 5. <u> </u> Zoning Law Appeals | |

Property owner: Naef Alhajjaji

Address: 19 Wasson Ave

In reference to: Open grocery store

You are entitled to appear at the public hearing scheduled for **4/30/25@ 6:00pm** in Council Chambers at Lackawanna City Hall to express your support or opposition to the granting of said application.

Communications, relating to the application, may be filed with the appropriate Board before the meeting by writing to:

Planning & Development Board/Zoning Board
Department of Development
714 Ridge Road, Room 309
Lackawanna, NY 14218

If you have any questions regarding the meeting, please call 716-827-6474

PLANNING AND DEVELOPMENT BOARD, CITY OF LACKAWANNA
ZONING BOARD OF APPEALS, CITY OF LACKAWANNA



CITY OF LACKAWANNA
OFFICE OF CODE ENFORCEMENT

714 Ridge Road – Room 311
Lackawanna, NY 14218
Tel: (716) 827-6474 Fax: (716) 827-1866



Date 4/30/25

Agenda Checklist
Zoning Board of Appeals
Planning and Development Board

Property address 4.5 SOUTH FISHER.

Reason in front of the board AUTO DETAIL SHOP IN ONE BAY

Special use permit needed for Zoning? Yes/No ☒ No Planning? Yes/No ☒ No

Agenda Applicant JORDAN PACILLO

Agenda item AUTO DETAIL SHOP

Zone MIXED RESIDENTIAL

Use variance needed? Yes / ☒ No

Description of use variance (not allowed in that zone) _____

Area variance needed? Yes / ☒ No

Description of area variances needed (Parking/ height ect...) _____

Description of agenda use? AUTO DETAIL SHOP AT NORTH FISHER
PROPERTIES LLC.

Code enforcement research (attached if applicable) YES

Legal opinion/ research (attached if applicable) NO

Scott Hayes
Code Enforcement Officer



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

714 Ridge Road – Room 309
Lackawanna, NY 14218
Tel: (716) 827-6421 Fax: (716) 827-1866



APPLICATION
TO THE CITY OF LACKAWANNA
PLANNING AND DEVELOPMENT BOARD

Date: 4/14/25

Application No. _____

Site Plan Review

Filing Fee \$10.00

____ Less than 0.5 acres

\$ 50.00

____ 0.5 to 1.0 acres

\$ 200.00

____ 1.0 to 2.0 acres

\$ 400.00

____ 2.0 to 5.0 acres

\$ 400.00

____ Greater than 5 acres

\$ 400.00 plus \$100.00 per acres

\$ _____

____ Special Use Permit

\$ 500.00

____ Development Plan Review

\$ 50.00

Property Address: 45 South fisher rd Lackawanna

S.B.L. No. 142.20-2-9.1

Description of Proposed Project: 1 Car Detailing

Director of Development

APPLICATION IS HEREBY MADE to the City of Lackawanna Planning and Development Board for a site plan review, special use permit, development plan review or subdivision review as required by the Municipal Code of the City of Lackawanna. The applicant hereby agrees to comply with all applicable laws, rules, ordinances and regulations.

Jordan Pacino
Name of Applicant

John Hill
Signature of Applicant

[REDACTED]
Address of Applicant

[REDACTED]
Applicant Phone No.

Jordan Pacino 716@gmail.com
Applicant's Email

Owner
Role of Applicant to Project
(owner, attorney, lessee, agent,
architect, engineer, contractor...)

Property Owner: Jason Sparta

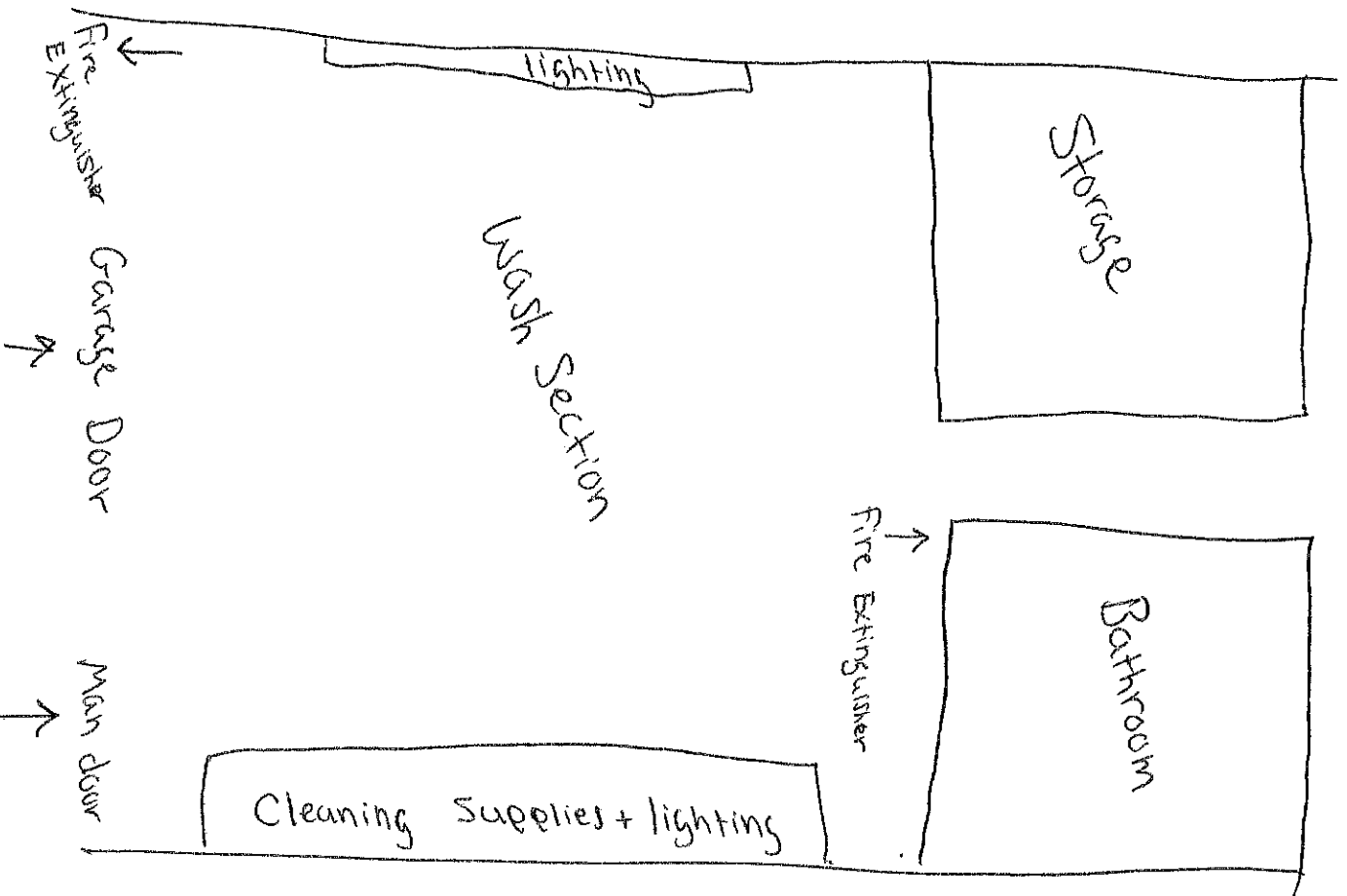
NAME: North Fisher Properties LLC.

Address: 5379 Oakridge Dr
Hamburg NY 14075

4.5 South Fisher rd
Lackawanna, NY 14218

Unit 203 floor layout

JP's Auto Detailing



Unit 203

JP's Auto Detailing

30 x 50



(no waiting
area for
customers)
(for liability
reasons)



4.5 South Fisher
rd Lakewood, Nl
14218

JP's
Parking

JP's
Parking

Google Maps

6 S Fisher Rd

Lackawanna, New York

Google Street View

May 2023 See more dates



Google Maps

6 S Fisher Rd

Lackawanna, New York

Google Street View

May 2023 See more dates



Image capture: May 2023 © 2025 Google





CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Application Notice

April 18, 2025

Jordan Pacillo
5363 Berg Rd
Lackawanna, NY 14218

Re: 4.5 South Fisher Rd

The above item has been placed on the agenda for the next scheduled meeting of the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna.

Planning and Development Board

Zoning Board of Appeals

Date: April 30, 2025

Date:

Time: 6:00pm

Time:

City Council Chambers Room 241
Lackawanna City Hall

If you have any questions please feel free to call 827-6474

Boarding Neighbors

2 South Fisher-Barbara Benaquist

8 South Fisher-Ralph Coviello

4 South Fisser- Mohamed Mohamed

10 South Fisher-arl Bueme

6 South Fisher-Lawrence Janovic



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Bordering Property Notice

Dear Sir or Madam:

As an adjoining property owner in the City of Lackawanna, you are hereby notified that a neighbor has made application to the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna as follow;

- | | |
|--|---------------------------------------|
| 1. <u> X </u> Site Plan Review | 2. <u> </u> Special Use Permit |
| 3. <u> </u> Development Plan Review | 4. <u> </u> Variance |
| 5. <u> </u> Zoning Law Appeals | |

Property owner: Jordan Pacillo

Address: 4.5 South Fisher Rd

In reference to: Auto detail shop

You are entitled to appear at the public hearing scheduled for **4/30/25@ 6:00pm** in Council Chambers at Lackawanna City Hall to express your support or opposition to the granting of said application.

Communications, relating to the application, may be filed with the appropriate Board before the meeting by writing to:

Planning & Development Board/Zoning Board
Department of Development
714 Ridge Road, Room 309
Lackawanna, NY 14218

If you have any questions regarding the meeting, please call 716-827-6474

PLANNING AND DEVELOPMENT BOARD, CITY OF LACKAWANNA
ZONING BOARD OF APPEALS, CITY OF LACKAWANNA



CITY OF LACKAWANNA
OFFICE OF CODE ENFORCEMENT

714 Ridge Road – Room 311
Lackawanna, NY 14218
Tel: (716) 827-6474 Fax: (716) 827-1866



Date 4/30/25

Agenda Checklist
Zoning Board of Appeals
Planning and Development Board

Property address 1212 ABBOTT ROAD

Reason in front of the board SITE PLAN APPROVAL

Special use permit needed for Zoning? Yes/☒ No Planning? Yes/☒ No

Agenda Applicant MOHAMMED ALYAHRI

Agenda item BUY/SELL USED CAR DEALERSHIP

Zone REGIONAL COMMERCIAL

Use variance needed? Yes/☒ No

Description of use variance (not allowed in that zone) —

Area variance needed? Yes/☒ No

Description of area variances needed (Parking/ height ect...) —

Description of agenda use? SITE PLAN APPROVAL FOR USED ~~CAR~~ AUTO DEALERSHIP. TO SET NUMBER OF VEHICLES ON LOT.

Code enforcement research (attached if applicable) YES

Legal opinion/ research (attached if applicable) NO

Scott Hayes
Code Enforcement Officer



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

714 Ridge Road – Room 309
Lackawanna, NY 14218
Tel: (716) 827-6421 Fax: (716) 827-1866



APPLICATION
TO THE CITY OF LACKAWANNA
PLANNING AND DEVELOPMENT BOARD

Date: 4/11/25

Application No. _____

Site Plan Review

Filing Fee \$10.00

<input type="checkbox"/> Less than 0.5 acres	\$ 50.00
<input type="checkbox"/> 0.5 to 1.0 acres	\$ 200.00
<input type="checkbox"/> 1.0 to 2.0 acres	\$ 400.00
<input type="checkbox"/> 2.0 to 5.0 acres	\$ 400.00 <input checked="" type="checkbox"/>
<input type="checkbox"/> Greater than 5 acres	\$ 400.00
<input type="checkbox"/> \$ 400.00 plus \$100.00 per acres	\$ <u>400.00</u>
<input type="checkbox"/> Special Use Permit	\$ 500.00
<input type="checkbox"/> Development Plan Review	\$ 50.00

Property Address: 1212 Abbott rd suite 5

S.B.L. No. _____

Description of Proposed Project: _____

Buy & sell-used car-dealership

Director of Development

APPLICATION IS HEREBY MADE to the City of Lackawanna Planning and Development Board for a site plan review, special use permit, development plan review or subdivision review as required by the Municipal Code of the City of Lackawanna. The applicant hereby agrees to comply with all applicable laws, rules, ordinances and regulations.

Mohammed alyahri

Name of Applicant



Signature of Applicant

211 West Elmview ave-14218

Address of Applicant

[REDACTED]

Applicant Phone No.

[REDACTED]

Applicant's Email

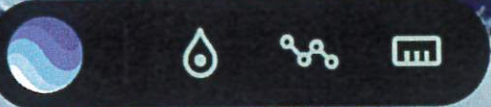
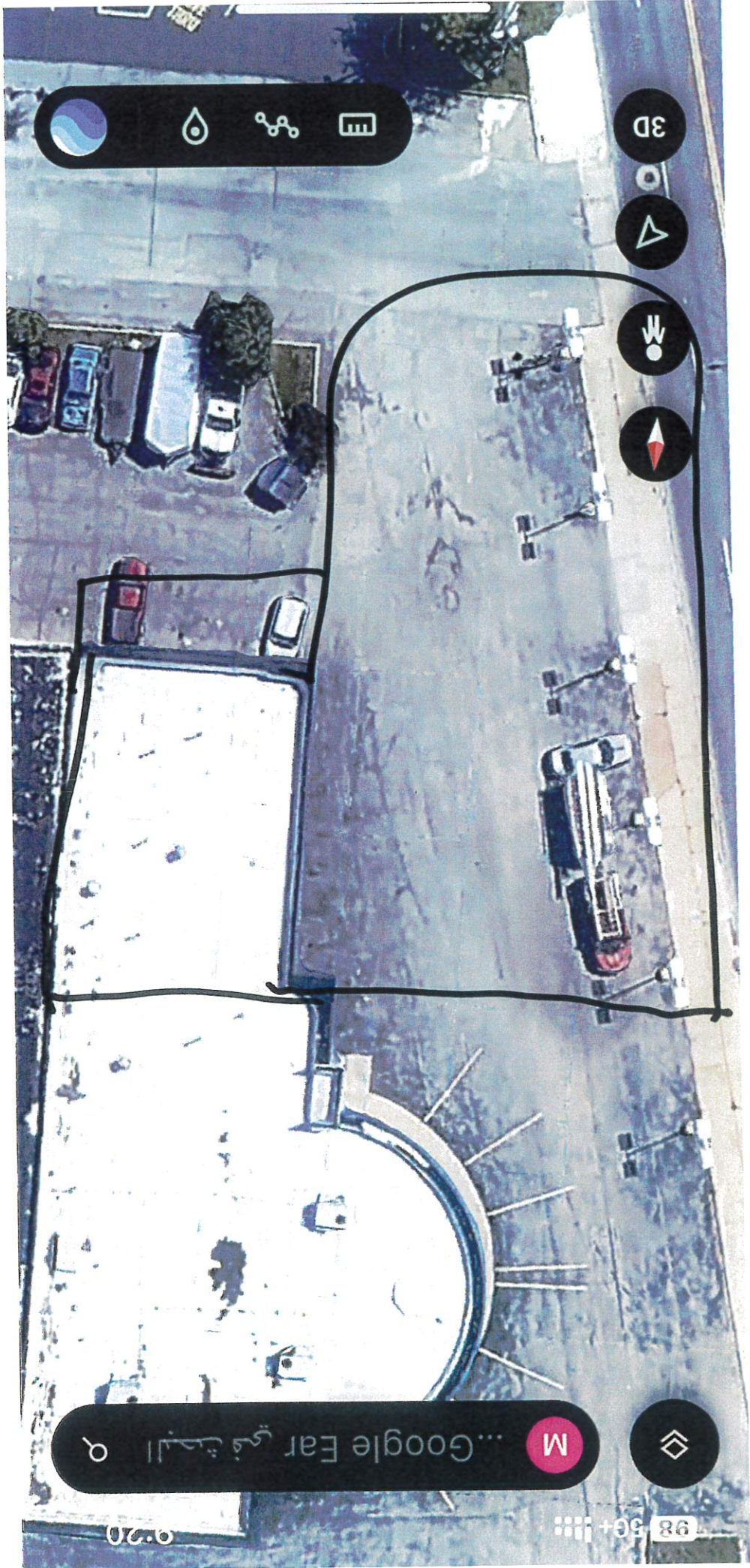
Role of Applicant to Project
(owner, attorney, lessee, agent,
architect, engineer, contractor...)

Property Owner:

NAME: Premium Lines Automotive

Address: 1212 Abbott Rd Lackawanna 14218
ste A

Director of Development



البحث في Google Earth... M





ERIE COUNTY, NEW YORK

Interactive Mapping Viewer

Search...

Sign in

Tools

Find Data

Draw Graphics

Measure



Tool Labels



Pan



Zoom In



Zoom Out



Initial View



Full Extent



Previous Extent



Next Extent



Bookmarks

Navigation



Identify



Home



Initial View



Print



Export



Linked Maps

Basic Tools

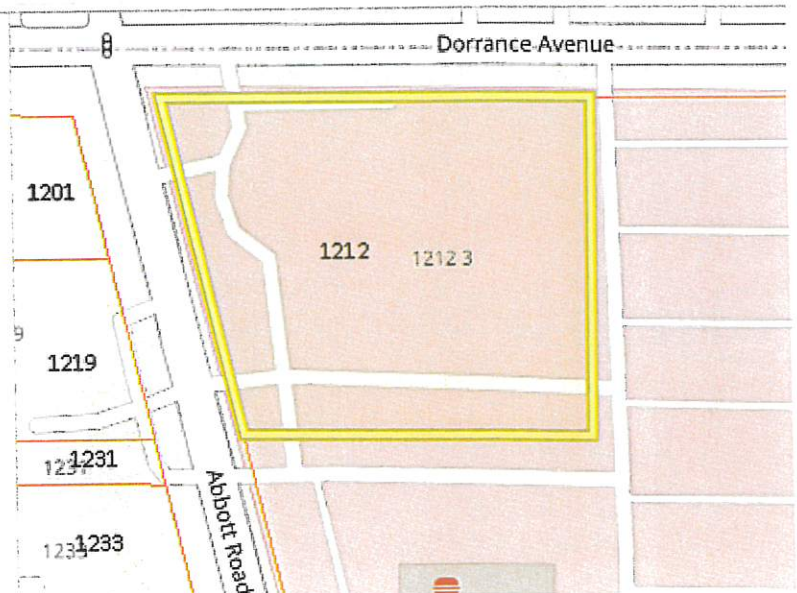
Linked Maps

Owner: PREMIUM LINES AUTOMOTIVE

Dimensions: 247.8x252.55

Acreage: 1.5597 acres

Property Class: C - Auto dealer



Displaying 1 - 1 (Total: 1)

◀ ◀ Page 1 of 1 ▶ ▶



Home



Layers



Parcels (1)



Open Str...

0 100 200ft

GOOGLE IMAGES OF THE PROPERTY

TOTAL NUMBER OF CARS ON THE PROPERTY - 1

NUMBER OF CARS FOR SALE.

NUMBER OF CARS FOR SALE PREP.

NUMBER OF CARS FOR REPAIR.

City of Lackawanna, NY
Thursday, April 10, 2025

Chapter 230. Zoning

Article III. District Regulations

§ 230-14. Regional Commercial - RC.

A. Purpose. Regional Commercial Districts have been designated in the City of Lackawanna to encourage the development of large-scale commercial uses, while protecting surrounding uses from increased traffic, lighting, noise and other encroachments.

B. Use regulations.

Permitted Uses and Structures

None

Permitted Accessory Uses (subject to the provisions of this chapter)

Picnic and transit shelters

Off-street parking and loading facilities

Signs

Fences, walls and hedges

Satellite receiving antenna

Alternative energy system apparatus

Accessory storage and maintenance buildings

Automobile-oriented commercial establishments that involve retail sales, food services or the stock of goods, wares or merchandise, including drive-through facilities

Automotive service stations

Automobile sales facilities

Commercial entertainment facilities

Maritime activities

Animal service facilities and kennels

Home and garden supply stores, including nurseries and lumber yards

Multifamily dwellings

Public buildings and uses

Telecommunications towers

Site Plan Review Uses

C. Site area requirements.

Lot Dimensions

Minimum Lot Size

5,000 square feet



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Application Notice

April 18, 2025

Mohammed Alyahri
211 West Elmview Ave
Lackawanna, NY 14218

Re: 1212 Abbott Rd

The above item has been placed on the agenda for the next scheduled meeting of the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna.

Planning and Development Board

Zoning Board of Appeals

Date: April 30, 2025

Date:

Time: 6:00pm

Time:

City Council Chambers Room 241
Lackawanna City Hall

If you have any questions please feel free to call 827-6474

Boarding Neighbors



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

714 Ridge Road – Room 309
Lackawanna, NY 14218
Tel: (716) 827-6421 Fax: (716) 827-1866



APPLICATION
TO THE CITY OF LACKAWANNA
PLANNING AND DEVELOPMENT BOARD

Date: 3-19-25

Application No. _____

Site Plan Review

Filing Fee \$10.00

<input checked="" type="checkbox"/> Less than 0.5 acres	.21 ACRES	\$ 50.00
<input type="checkbox"/> 0.5 to 1.0 acres		\$ 200.00
<input type="checkbox"/> 1.0 to 2.0 acres		\$ 400.00
<input type="checkbox"/> 2.0 to 5.0 acres		\$ 400.00
<input type="checkbox"/> Greater than 5 acres		
\$ 400.00 plus \$100.00 per acres		\$ _____

<input type="checkbox"/> Special Use Permit	\$ 500.00
<input type="checkbox"/> Development Plan Review	\$ 50.00

Property Address: 1550 ABBOTT RD 14218

S.B.L. No. _____

Description of Proposed Project: Cafe & Snack Shop
featuring an assortment of sweets.

Director of Development



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Application Notice

April 18, 2025

Abdulgawi Alyahri
211 West Elmview Ave
Lackawanna, NY 14218

Re: 1550 Abbott Rd

The above item has been placed on the agenda for the next scheduled meeting of the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna.

Planning and Development Board

Zoning Board of Appeals

Date: April 30, 2025

Date:

Time: 6:00pm

Time:

City Council Chambers Room 241
Lackawanna City Hall

If you have any questions please feel free to call 827-6474

Boarding Neighbors
Abbott Rd LLC-1540 Abbott



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Bordering Property Notice

Dear Sir or Madam:

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- | | |
|--|-------------------------------------|
| 1. <u> X </u> Site Plan Review | 2. <u> </u> Special Use Permit |
| 3. <u> </u> Development Plan Review | 4. <u> </u> Variance |
| 5. <u> </u> Zoning Law Appeals | |

Property owner: Abdulgani Alyahri

Address: 1550 Abbott Rd

In reference to: Request to open Café and snack shop

You are entitled to appear at the public hearing scheduled for **4/30/25@ 6:00pm** in Council Chambers at Lackawanna City Hall to express your support or opposition to the granting of said application.

Communications, relating to the application, may be filed with the appropriate Board before the meeting by writing to:

Planning & Development Board/Zoning Board
Department of Development
714 Ridge Road, Room 309
Lackawanna, NY 14218

If you have any questions regarding the meeting, please call 716-827-6474

PLANNING AND DEVELOPMENT BOARD, CITY OF LACKAWANNA
ZONING BOARD OF APPEALS, CITY OF LACKAWANNA

APPLICATION IS HEREBY MADE to the City of Lackawanna Planning and Development Board for a site plan review, special use permit, development plan review or subdivision review as required by the Municipal Code of the City of Lackawanna. The applicant hereby agrees to comply with all applicable laws, rules, ordinances and regulations.

Abdulqawi Alyahri

Name of Applicant

α [Signature]

Signature of Applicant

211

277 W. Elmview ave 14218

Address of Applicant

[Redacted]

Applicant Phone No.

[Redacted]

Applicant's Email

Owner

Role of Applicant to Project
(owner, attorney, lessee, agent,
architect, engineer, contractor...)

Property Owner:

NAME: Juran's Real Property Management Inc

Address: 1550 abbott RD

Lackawanna, NJ 14218

Director of Development

Proposed Café and Snack Shop

Location: 1550 Abbot Road, Lackawanna, NY 14218

Hours of Operation:

7 Days a Week, 2:00 PM – 1:00 AM

Concept Overview:

This vibrant and cozy café will provide a wide range of delicious and indulgent sweet treats, catering to both locals and visitors who are looking for a unique and satisfying experience. The establishment will offer a welcoming atmosphere for everyone, whether they're stopping by for an afternoon treat or a late-night snack.

Menu Offerings:

Our diverse menu will feature an assortment of sweet delights designed to please a variety of tastes and preferences. Some of the key offerings include, but are not limited to:

- **Waffles:** Light, fluffy waffles served with an array of toppings such as fresh fruits, whipped cream, chocolate syrup, and nuts.
- **Crepes:** Delicately prepared crepes filled with sweet ingredients like Nutella, berries, or vanilla cream. Savory options will also be available for those seeking a unique twist.
- **Ice Cream:** A wide selection of hand-crafted ice cream flavors, including classics and seasonal varieties. Toppings and add-ins will be available to customize each serving.
- **Milkshakes & Smoothies:** Thick, creamy milkshakes in a variety of flavors, as well as refreshing, healthy smoothies made with fresh ingredients.
- **Pastries & Snacks:** A rotating selection of baked goods like cookies, brownies, and croissants, paired with hot or iced beverages.

Google Maps

Lackawanna, New York

Google Street View

May 2023 See more dates

1550 Abbott Rd



Magnolia St

J's White Elephant

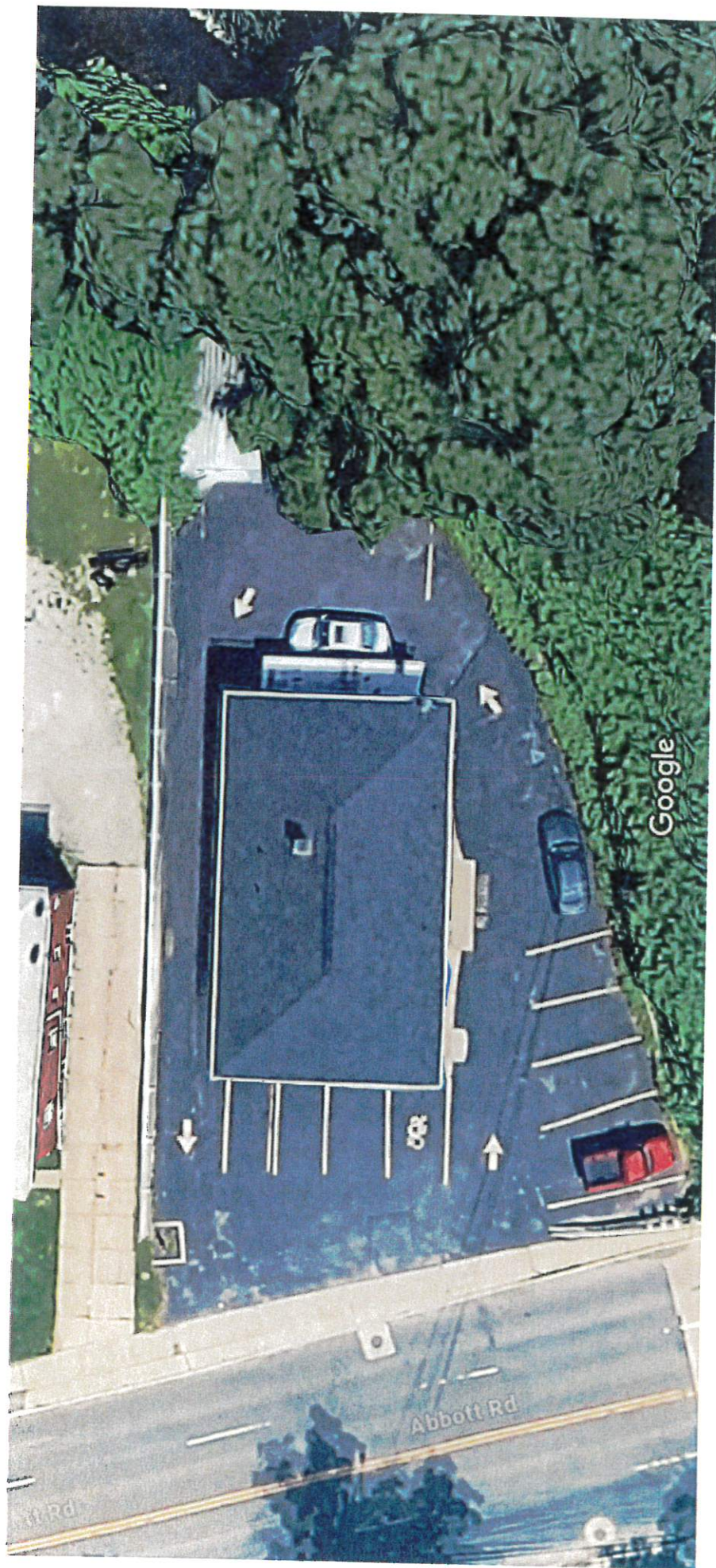


Abbott Rd

Google

Image capture: May 2023

© 2025 Google



Imagery ©2025 Google, Imagery ©2025 Airbus, Map data ©2025 20 ft

HAS ENOUGH PARKING
SPACES

3 APT

1 BEDROOM 1.5
2 BEDROOM 2.3
2 BEDROOM 2.3

SPACES 6.1

RETAIL 600 SQ FT

1 SPACE PER 250 SQ FT

3 SPACES

6
3
9 SPACES TOTAL

11-12 SPACES ON
PROPERTY

SHARUANA.

3 APT.
1 BED. 1.5

2 BED 2.3 SQ. FOOTAGE.

2 BED. 2.3.

DRIVE THRU.

PARKING FOR 6 ARTS SPACES.
1 per.

PARKING ALREADY
5 ON SIDE
2 ON REAR
4 IN FRONT.

3 1/4 .56 4 SPACES
2 EMPLOYEES.

12 SPACES.

DRIVING

6 FOR APT'S

3 FOR RETAIL

9

1550 ABBOTT

- Full Business Description

- what kind of restaurant?

- what will you sell?

**Sweet store
candy and juice
and cafe**

- Property

- How many bedrooms on property? 5 BEDROOMS.
3 APARTMENTS.

- Square footage of retail area for customer base?

400 SQ FT CUSTOMERS

200 SQ FT STORE.

8-9 PARKING

SPACES.

* must be written out *

- Bring to Am311 for review

→ Total the front store 600 sq

Yousef Alyahri

THUR



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Application Notice

April 18, 2025

Abdulgawi Alyahri
211 West Elmview Ave
Lackawanna, NY 14218

Re: 1550 Abbott Rd

The above item has been placed on the agenda for the next scheduled meeting of the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna.

Planning and Development Board

Zoning Board of Appeals

Date: April 30, 2025

Date:

Time: 6:00pm

Time:

City Council Chambers Room 241
Lackawanna City Hall

If you have any questions please feel free to call 827-6474

Boarding Neighbors
Abbott Rd LLC-1540 Abbott



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Bordering Property Notice

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| 1. <u> X </u> Site Plan Review | 2. <u> </u> Special Use Permit |
| 3. <u> </u> Development Plan Review | 4. <u> </u> Variance |
| 5. <u> </u> Zoning Law Appeals | |

Property owner: Abdulgani Alyahri

Address: 1550 Abbott Rd

In reference to: Request to open Café and snack shop

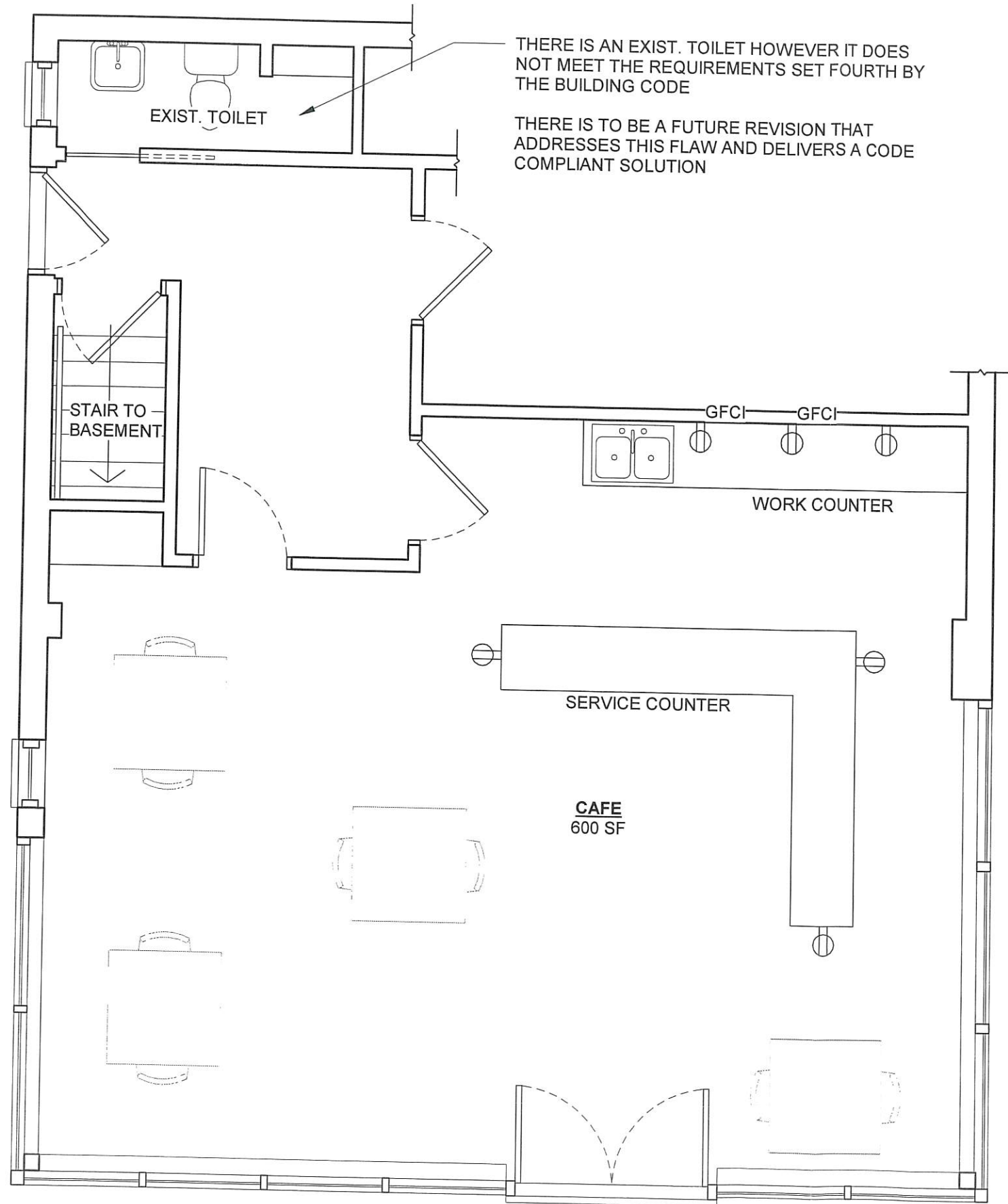
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Department of Development
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Lackawanna, NY 14218

If you have any questions regarding the meeting, please call 716-827-6474

PLANNING AND DEVELOPMENT BOARD, CITY OF LACKAWANNA
ZONING BOARD OF APPEALS, CITY OF LACKAWANNA



THERE IS AN EXIST. TOILET HOWEVER IT DOES NOT MEET THE REQUIREMENTS SET FOURTH BY THE BUILDING CODE

THERE IS TO BE A FUTURE REVISION THAT ADDRESSES THIS FLAW AND DELIVERS A CODE COMPLIANT SOLUTION

SCOPE

THE EXIST. BUILDING LOCATED AT 1550 Abbott Rd, Buffalo, NY 14218 IS TO BE CONVERTED INTO A STORE FOR THE SALE OF DESSERTS

OCCUPANCY LOAD = 32 OCCUPANTS

UNCONCENTRATED TABLE AND CHAIRS
455 SQ FT / 15 FT = 31 OCCUPANTS

BUSINESS AREAS

145 SQ FT / 150 = 1 OCCUPANT

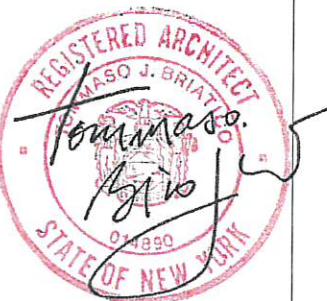
CLIENT
**YOUSEF
ALYAHRI**

4 KENNEDY DRIVE
LACKAWANNA, NEW
YORK 14218

PROJECT
**1550 ABBOTT
ROAD CAFE**

2025.21

NOTES:



PROJECT ARCHITECT:
**TOMMASO BRIATICO
ARCHITECTS**
ARCHITECTURE • PLANNING • DESIGN
2448 Delaware Avenue Buffalo, NY 14216
716-856-9131 t 716-849-0683 f
tbriatico@tb-arch.com www.tb-arch.com

SHEET TITLE
FLOOR PLAN

1/4" = 1'-0"

03.19.25

TK

TB

A-1

1 FIRST FLOOR PLAN
1/4" = 1'-0"



CITY OF LACKAWANNA
OFFICE OF CODE ENFORCEMENT

714 Ridge Road – Room 311
Lackawanna, NY 14218
Tel: (716) 827-6474 Fax: (716) 827-1866



Date 4/30/25

Agenda Checklist
Zoning Board of Appeals
Planning and Development Board

Property address 2800 HAMBURG TURNPIKE

Reason in front of the board SITE PLAN APPROVAL

Special use permit needed for Zoning? Yes/☒ No Planning? Yes/☒ No

Agenda Applicant GREGORY HERZOG

Agenda item PALLET RACK STORAGE COMPANY TO BE SOLD.

Zone MIXED COMMERCIAL INDUSTRIAL

Use variance needed? Yes/☒ No

Description of use variance (not allowed in that zone) —

Area variance needed? Yes/☒ No

Description of area variances needed (Parking/ height ect...) —

Description of agenda use? PALLET RACK STORAGE COMPANY TO BE SOLD TO CUSTOMERS.

Code enforcement research (attached if applicable) YES

Legal opinion/ research (attached if applicable) NO

Scott Hayes
Code Enforcement Officer



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

714 Ridge Road – Room 309
Lackawanna, NY 14218
Tel: (716) 827-6421 Fax: (716) 827-1866



APPLICATION
TO THE CITY OF LACKAWANNA
PLANNING AND DEVELOPMENT BOARD

Date: 4/11/25

Application No. _____

Site Plan Review

Filing Fee \$10.00

☒ Less than 0.5 acres

\$ 50.00

☐ 0.5 to 1.0 acres

\$ 200.00

☐ 1.0 to 2.0 acres

\$ 400.00

☐ 2.0 to 5.0 acres

\$ 400.00

☐ Greater than 5 acres

\$ 400.00 plus \$100.00 per acres

\$ _____

☐ Special Use Permit

\$ 500.00

☐ Development Plan Review

\$ 50.00

Property Address: 2800 Hamburg Turnpike, Lackawanna, NY

S.B.L. No. 150.16-2-34.1

Description of Proposed Project: Storage for pallet Rack
to be sold to customers

Director of Development

APPLICATION IS HEREBY MADE to the City of Lackawanna Planning and Development Board for a site plan review, special use permit, development plan review or subdivision review as required by the Municipal Code of the City of Lackawanna. The applicant hereby agrees to comply with all applicable laws, rules, ordinances and regulations.

Gregory Herzog
Name of Applicant

[Signature]
Signature of Applicant

213 Main St. Hanks NY 14025
Address of Applicant

[Redacted]
Applicant Phone No.

[Redacted]
Applicant's Email

lessee
Role of Applicant to Project
(owner, attorney, lessee, agent,
architect, engineer, contractor...)

Property Owner:

NAME: Great Lakes Industrial Development

Address: 520 Seneca St.

Buffalo NY 14204

EXHIBIT A

DESCRIPTION OF THE PREMISES

20,000 square feet in the Box Annealing Bay.
Access to common laneway. Boundaries are approximate below but to total 20,000 square feet.



EXHIBIT A

DESCRIPTION OF THE PREMISES

20,000 square feet in the Box Annealing Bay.
Access to common laneway. Boundaries are approximate below but to total 20,000 square feet.



STEELWORKS INDUSTRIAL PARK
SPACE AVAILABLE
716-866-8846

NO PARKING
IN STREET

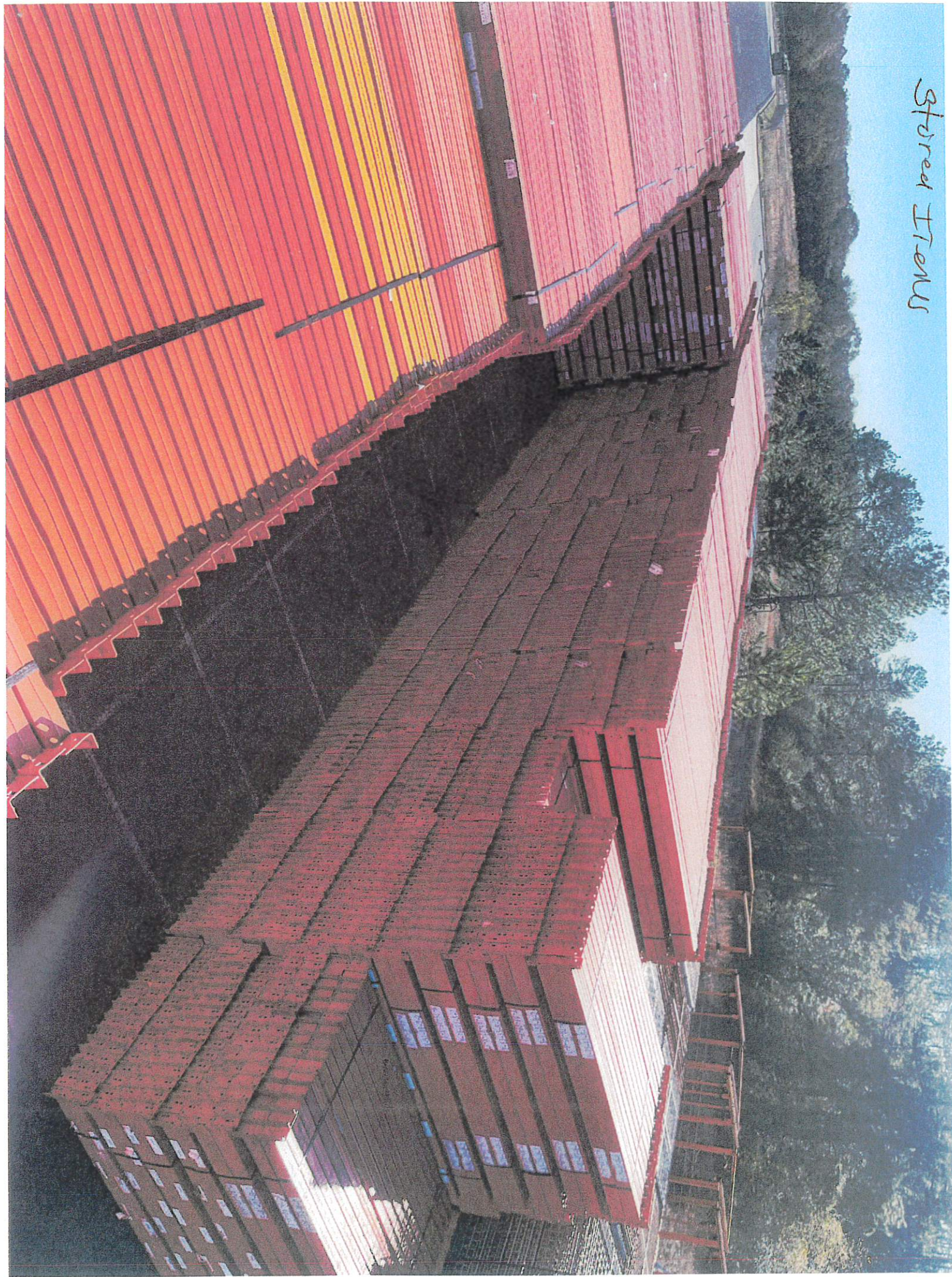


NO PARKING

Storage Items



Stored Items





CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Application Notice

April 18, 2025

Gregory Herzog
213 Main St
Hamburg, NY 14075

Re: 2800 Hamburg Tpke

The above item has been placed on the agenda for the next scheduled meeting of the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna.

Planning and Development Board

Zoning Board of Appeals

Date: April 30, 2025

Date:

Time: 6:00pm

Time:

City Council Chambers Room 241
Lackawanna City Hall

If you have any questions please feel free to call 827-6474

Boarding Neighbors



CITY OF LACKAWANNA
OFFICE OF CODE ENFORCEMENT

714 Ridge Road – Room 311
Lackawanna, NY 14218
Tel: (716) 827-6474 Fax: (716) 827-1866



Date 4/30/25

Agenda Checklist
Zoning Board of Appeals
Planning and Development Board

Property address 61 NORTH GATES

Reason in front of the board SITE PLAN APPROVAL

Special use permit needed for Zoning? Yes ☒ No ☒ Planning? Yes ☒ No ☒

Agenda Applicant KEVIN R. WEIDINGER

Agenda item MOVING A FASTENER DISTRIBUTION COMPANY

Zone INDUSTRIAL

Use variance needed? Yes ☒ No ☒

Description of use variance (not allowed in that zone) —

Area variance needed? Yes ☒ No ☒

Description of area variances needed (Parking/ height ect...) —

Description of agenda use? PURCHASED THE BUILDING TO MOVE A
FASTENER DISTRIBUTION COMPANY FROM BUFFALO
FOR A LARGER BUILDING FOR BUSINESS GROWTH.

Code enforcement research (attached if applicable) YES

Legal opinion/ research (attached if applicable) NO

Scott Hayes
Code Enforcement Officer



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

714 Ridge Road – Room 309
Lackawanna, NY 14218
Tel: (716) 827-6421 Fax: (716) 827-1866



APPLICATION
TO THE CITY OF LACKAWANNA
PLANNING AND DEVELOPMENT BOARD

Date: 4/2/2025

Application No. _____

Site Plan Review

Filing Fee \$10.00

____ Less than 0.5 acres
____ 0.5 to 1.0 acres
____ 1.0 to 2.0 acres
☒ 2.0 to 5.0 acres 3.1 acres
____ Greater than 5 acres
\$ 400.00 plus \$100.00 per acres

\$ 50.00
\$ 200.00
\$ 400.00
\$ 400.00

\$ 410.00 enclosed

____ Special Use Permit
____ Development Plan Review

\$ 500.00
\$ 50.00

Property Address: 61 North Gates Ave., Lackawanna, NY 14218
USA

S.B.L. No. _____

Description of Proposed Project: MOVING FREEMAN DISTRIBUTION
COMPANY FROM DOWNTOWN FACILITY TO A
LARGER BUILDING TO FACILITATE BUSINESS
GROWTH.

LIBER - 11169 PG. 967
PANEL # 141.07-4-11.2

Director of Development

APPLICATION IS HEREBY MADE to the City of Lackawanna Planning and Development Board for a site plan review, special use permit, development plan review or subdivision review as required by the Municipal Code of the City of Lackawanna. The applicant hereby agrees to comply with all applicable laws, rules, ordinances and regulations.

Kevin R. Weidinger

Name of Applicant

KWTC ENTERPRISES LLC
2204 E. ENTERPRISE PARKWAY
TWINSBURG, OH 44087 USA

Address of Applicant

KWEIDINGER@GLFIS.COM

Applicant's Email

Kevin R. Weidinger

Signature of Applicant

330-425-4488 O 330-858-283 M

Applicant Phone No.

OWNER

Role of Applicant to Project

(owner, attorney, lessee, agent,
architect, engineer, contractor...)

Property Owner:

NAME:

KWTC ENTERPRISES LLC / Kevin Weidinger ^{MANAGING MEMBER}

Address:

2204 EAST ENTERPRISE PARKWAY
TWINSBURG, OH 44087 USA



Scott Hayes <shayes@lackny.com>

61 North Gates Ave., Lackawanna, NY

8 messages

Kevin Weidinger <kweidinger@glfus.com>

Tue, Apr 1, 2025 at 5:17 PM

To: "shayes@lackny.com" <shayes@lackny.com>

Cc: John Collins <jcollins@glfus.com>

Hello Scott and thanks for taking my call.

We are working on closing the building acquisition on or before April 8th. All building systems are being checked out for safety and efficient operation.

Our company is H&S Sales with a dba of Nut & Bolt Fastening Solutions. We are presently doing business at [471 Connecticut Street](#) in Buffalo. We are moving to 61 North Gates as we require a larger facility with docks for our larger customers. As the name implies, we distribute – bolts, nuts, rivets, screws, washers etc. We stock in pallet and box quantities and 90% of our inventory is low carbon steel. We operate a forklift truck, an electric floor jack and have a delivery truck but other than that limited material handling equipment. We operate Monday through Friday from 7:30am to 4:30pm. We have eight full-time associates with four in the warehouse and four in front office in sales and service.

H&S is part of the Great Lakes Fasteners Group and corporate staff (purchasing, operations, and ownership) is located at [2204 East Enterprise Parkway, Twinsburg, OH 44087 USA](#). All official city correspondence should be sent there.

H&S EIN is: 46-0815156 and we are current with federal, State and Local taxing authorities as we are already a going concern.

What else do you require? Copying John Collins, Regional Operations Manager who oversees NY operations.

Best,

Kevin



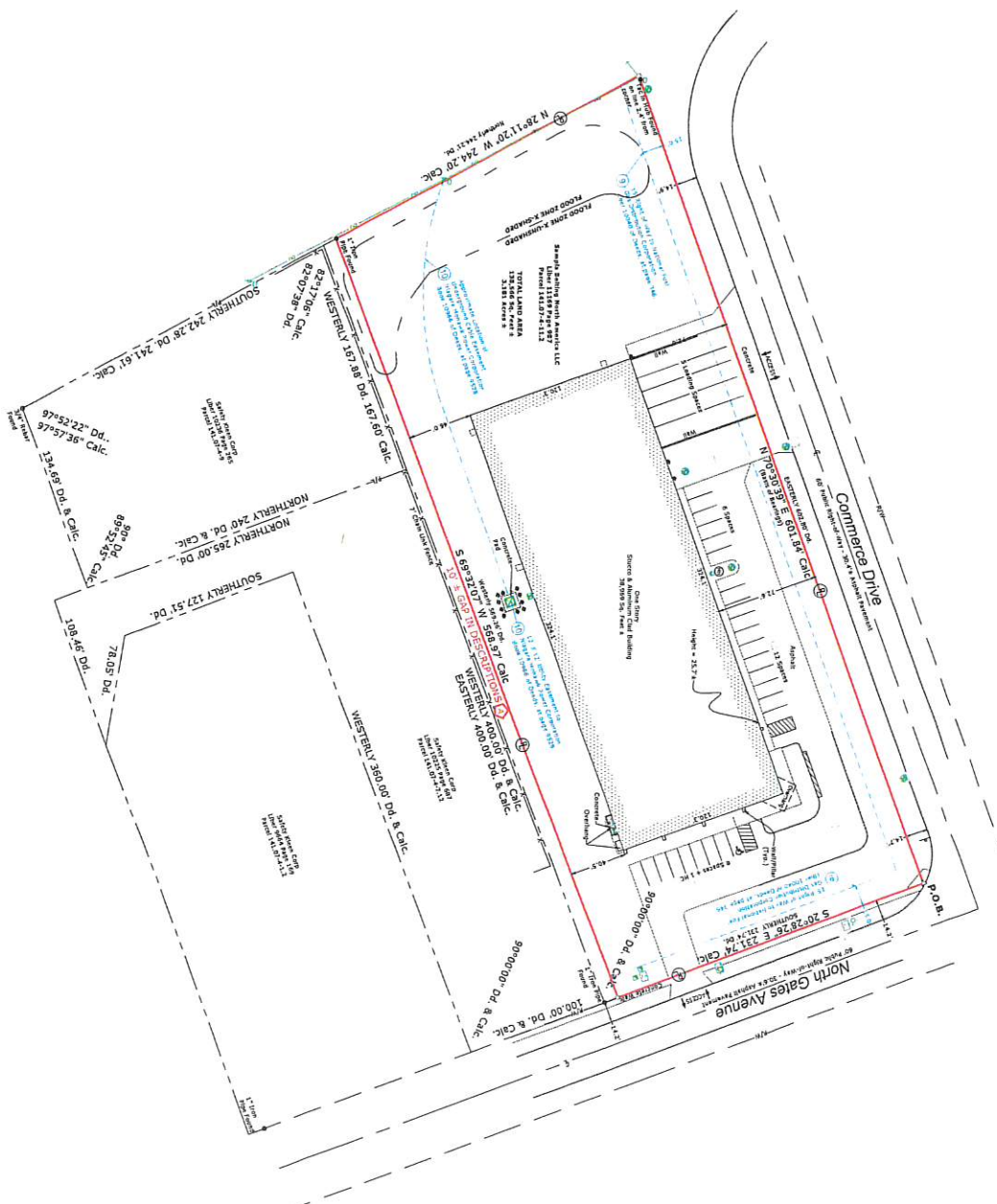
Kevin Weidinger
President / CEO
Great Lakes Fasteners

☎ [330-425-4488](tel:330-425-4488) x101 | [330-858-2783](tel:330-858-2783)
✉ kweidinger@glfus.com
🔗 www.glfus.com
📍 [2204 E Enterprise Parkway, Twinsburg, OH 44087](#)

19 SURVEY DRAWING

- 17 NORTH ARROW/SCALE

TITAN
COMMERCIAL REAL ESTATE SERVICES
4811 North 48th Street, Suite 400, #400
Phone: 310-842-7672
www.titanre.com

Steel 2 in 2

18 ALTANSPPS Land Title Survey

Standard Detail Requirements for A17AAS75 (and T66 Series) (Effective February 27, 2021)

THIS WORK COORDINATED BY
A COMMITTEE OF DELEGATES

5

COMMERCIAL

3200 W. Richardson Street, Third Floor
Mannan, Oklahoma 73072

105 F166: 000,322,13/1

1. *Chlorophyll a* (Chl a) is the primary photosynthetic pigment in most plants and algae. It is a green pigment that absorbs light energy in the blue and red regions of the visible spectrum. Chl a is essential for the light-dependent reactions of photosynthesis, where it converts light energy into chemical energy in the form of ATP and NADPH. The structure of Chl a consists of a central magnesium atom coordinated by four nitrogen atoms in a porphyrin-like ring, with a long phytol side chain attached to one of the ring carbons.

10

Chen, D. et al.

3

61 NORTH GATES AVENUE

UNIVERSITY OF CALIFORNIA

GATES AVE-LACKAWANNA NY

25-03-0044



ERIE COUNTY, NEW YORK
Interactive Mapping Viewer

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Navigation

Basic Tools



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Linked Maps

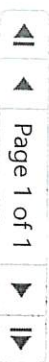
Owner: SAMPLA BELTING N. AMERICA LLC

Dimensions: 0x0

Acreage: 3.1714 acres

Property Class: C - Manufacture

Displaying 1 - 1 (Total: 1)



Page 1 of 1



Home

Layers

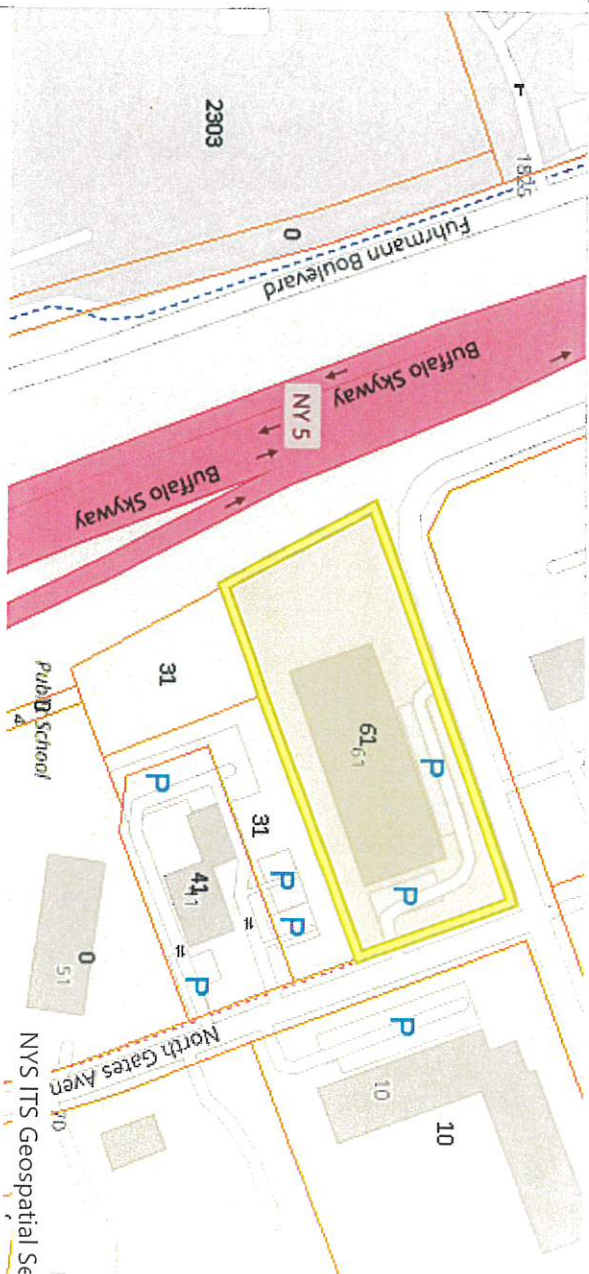
Parcels (1)



Open Str...



0	150	300ft
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4/2/25, 12:25 PM

468 Connecticut St - Google Maps



468 Connecticut St

Buffalo, New York

Google Street View

May 2022 [See more dates](#)



Image capture: May 2022 © 2025 Google



<https://www.google.com/maps/@42.9076867,-78.8840775,3a,75y,122.3h,94.68t/data=!3m1!1e1!3m5!1s8T5TqBrlZl82xxVgduhURQlZ2e0!6shttps:%2F%2Fstreetviewpixels-pa.googleapis.com%2Fv1%2...>



CITY OF LACKAWANNA
DEPARTMENT OF DEVELOPMENT

Application Notice

April 18, 2025

Kevin Weidinger
2204 E. Enterprise Parkway
Twinsburg, OH 44087

Re: 61 North Gates

The above item has been placed on the agenda for the next scheduled meeting of the Planning and Development Board and/or Zoning Board of Appeals of the City of Lackawanna.

Planning and Development Board

Zoning Board of Appeals

Date: April 30, 2025

Date:

Time: 6:00pm

Time:

City Council Chambers Room 241
Lackawanna City Hall

If you have any questions please feel free to call 827-6474

Boarding Neighbors

CHARLES CLARK

*Director of Development, Marketing
& Public Information*



City Hall – Room 309
Lackawanna, NY 14218
Office: 716-827-6475
Mobile: 716-948-6475
Email: chuck.clark@lackny.com

To: Planning Board Members
From: Charles Clark
Date: April 14, 2025
Re: Seneca Mall Redevelopment – Neighboring Community Feedback

The Town of West Seneca recently notified the City of Lackawanna (through the Department of Development) of their plans for a three-phased redevelopment of the former Seneca Mall site scheduled to occur between October, 2025 through January, 2028.

This notification was provided to Lackawanna as a neighboring community.

Aside from the possibility of some minor increases in vehicle traffic on Abbott Road as an alternate route during a planned reconstruction of Slade Avenue, the Seneca Mall Redevelopment Project should have very little direct impact on City of Lackawanna operations.

As such, our action item for the April meeting will be to acknowledge receipt of the West Seneca notification / project plan and offer our best wishes as good neighbors.

A high-level schematic of the redevelopment project is attached. I will review during the meeting.

Charles J. Clark